

JDE Project Number: 01-2020-035

1735 Turnpike Street,
Stoughton, Norfolk County,
Massachusetts 02072

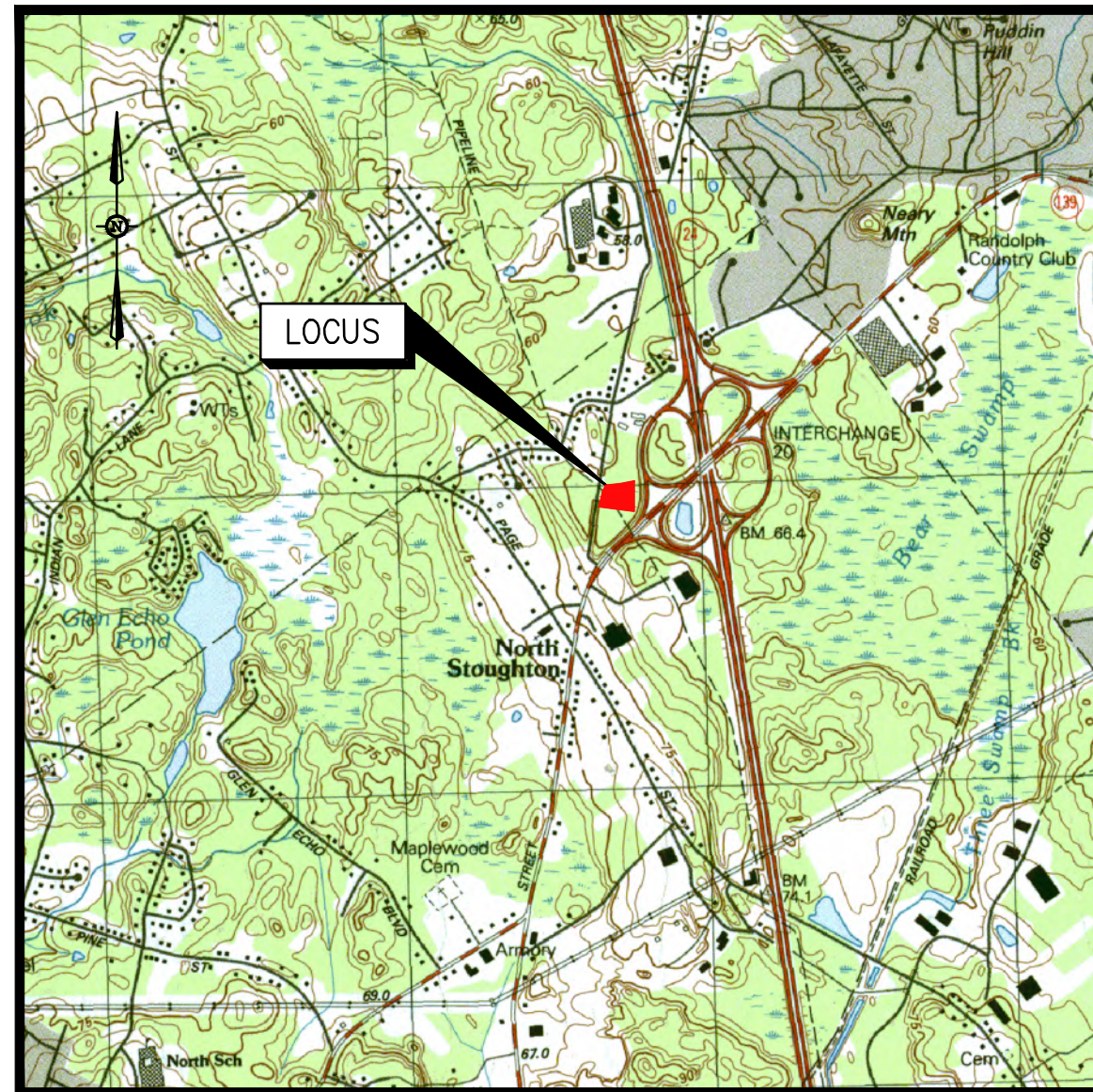
Peacock Realty, LLC

Boston,

Suffolk County, MA 02117

No.	Drawing Title	Date	Revised
1	Cover, General Notes and Legend	01-20-2021	12-07-2021
2	Existing Conditions Plan (By Others)	01-20-2021	05-27-2021
3	Layout & Materials Plan	01-20-2021	12-07-2021
4	Grading, Utility & Erosion Control Plan	01-20-2021	12-07-2021
5	Construction Details	01-20-2021	12-07-2021
6	Construction Details	01-20-2021	12-07-2021
7	Construction Details	01-20-2021	12-07-2021
8	Landscaping Plan	01-20-2021	12-07-2021
9	Landscaping Plan	01-20-2021	12-07-2021
10	Rendering	01-20-2021	12-07-2021
11	Rendering	01-20-2021	12-07-2021
12	Rendering	01-20-2021	12-07-2021
13	Planning Board Decision	01-20-2021	12-07-2021
14	Photometric Plan (By Others)	07-21-2021	

EXIST		PROP		EXIST		PROP	
		PROPERTY LINE				DRAINAGE LINE	
		BASELINE				OVERFLOW DRAIN	
		ZONING LINE				ROOF DRAIN	
						SEWER LINE	
		GRAVEL ROAD				OVERHEAD WIRES	
		EDGE OF PAVEMENT				WATER LINE	
		BITUMINOUS CURB				FIRE PROTECTION LINE	
		CASE C&D BERM				GAS LINE	
		PRECAST CONC. CURB				UNDERGROUND ELECTRIC	
		VERT. GRAN. CURB				TELEPHONE LINE	
		SLOPED GRAN. CURB					
		LIMIT OF CURB TYPE					
		SAWOUT					
		MATCHLINE					
		STEEL GUARD RAIL					
		WOOD GUARD RAIL					
		STOCKADE FENCE					
		TREE LINE					
		CHAIN LINK FENCE					
		STONE WALL					
		RETAINING WALL					
		HAY BALES					
		MINOR CONTOUR					
		MAJOR CONTOUR					
		BUILDING					
		BUILDING ENTRANCE					
		LOADING DOCK					
		GARAGE DOOR					
		BOLLARD					
		SIGN					
		DOUBLE SIGN					
		SPOT ELEVATION					
		TOP & BOTTOM ELEVATION					
		BORING LOCATION					
		TEST PIT LOCATION					



LOCUS MAP
NO SCALE

PREPARED BY:

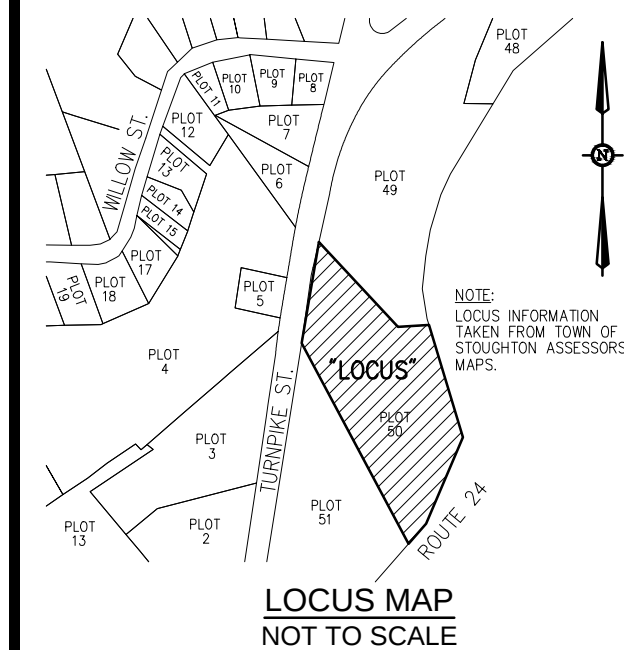


Jacobs Driscoll Engineering

50 Oliver Street

North Easton, MA 02356

22. CONTRACTOR TO MAINTAIN COPIES OF ALL CONSERVATION, STORMWATER AND SITE PLAN APPROVAL PERMITS ON SITE AT ALL TIMES.



REVISIONS

No.	DATE	DESCRIPTION
1	05/28/2021	PER REVIEW COMMENTS
2	06/07/2021	PLANNING BOARD SUBMITT
3	07/21/2021	CC APPROVAL, PB SUBMITT
4	10/07/2021	PER REVIEW COMMENTS
5	10/21/2021	PER REVIEW COMMENTS
6	12/07/2021	ADD PB DECISION

DRAWN BY: TME / JWV

CHECKED BY: EPJ

DESIGNED BY: TME / JVW / GWD

1735 TURNPIKE STREET

IN
STOUGHTON
(NORFOLK COUNTY)
MASSACHUSETTS

JANUARY 20, 2021

PREPARED FOR:

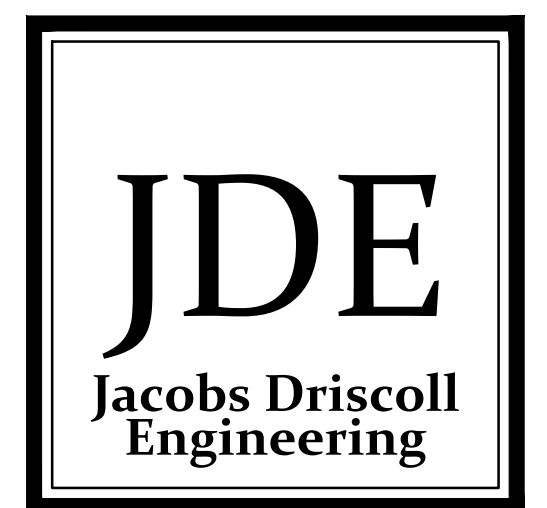
PEACOCK REALTY, LLC

P.O. BOX 170842

BOSTON

MASSACHUSETTS

02117



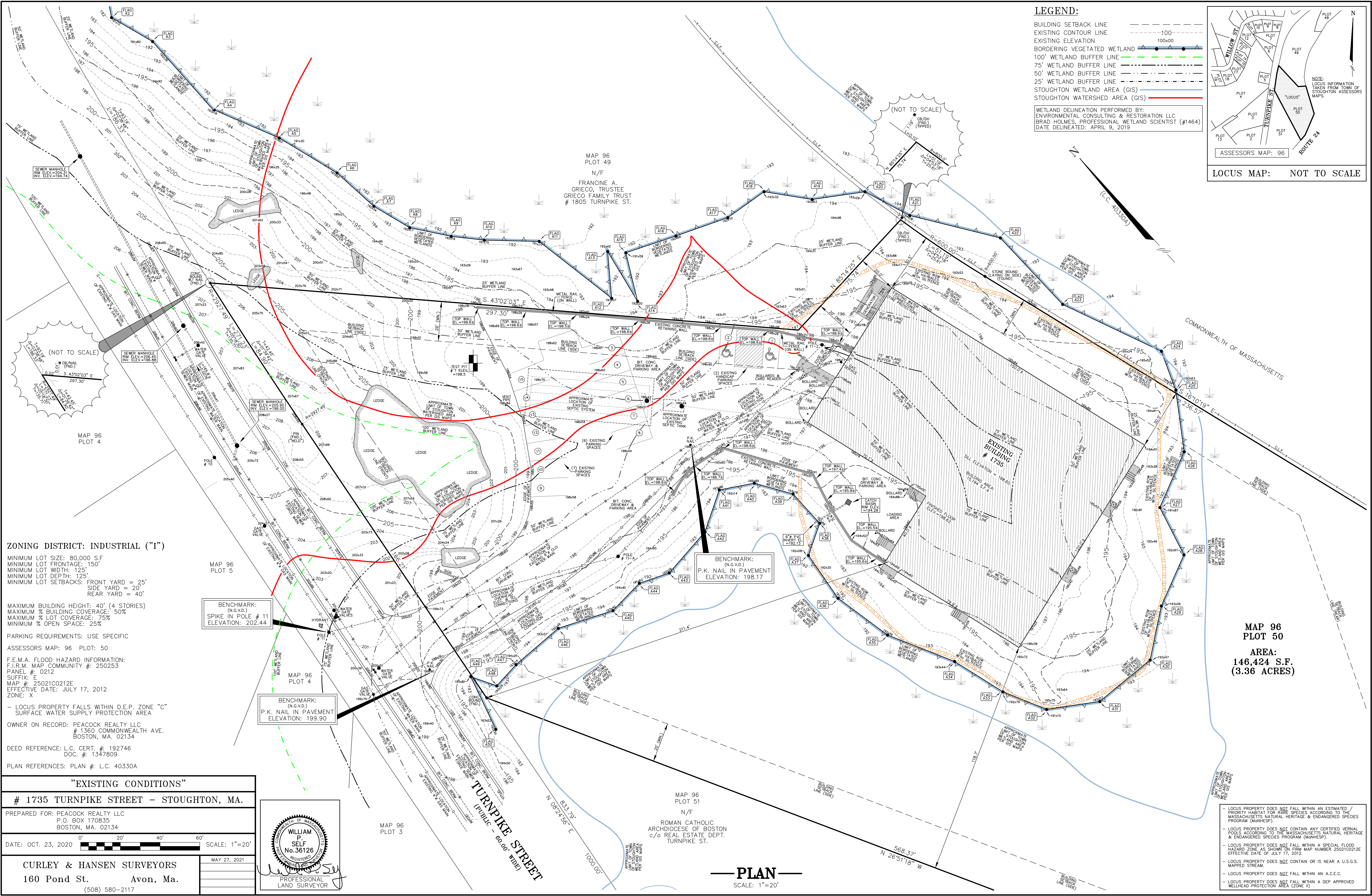
50 Oliver Street
North Easton, Massachusetts 02356
Phone: 508-928-4400
www.JacobsDriscoll.com



12/7/2021

SHEET 1 OF 14

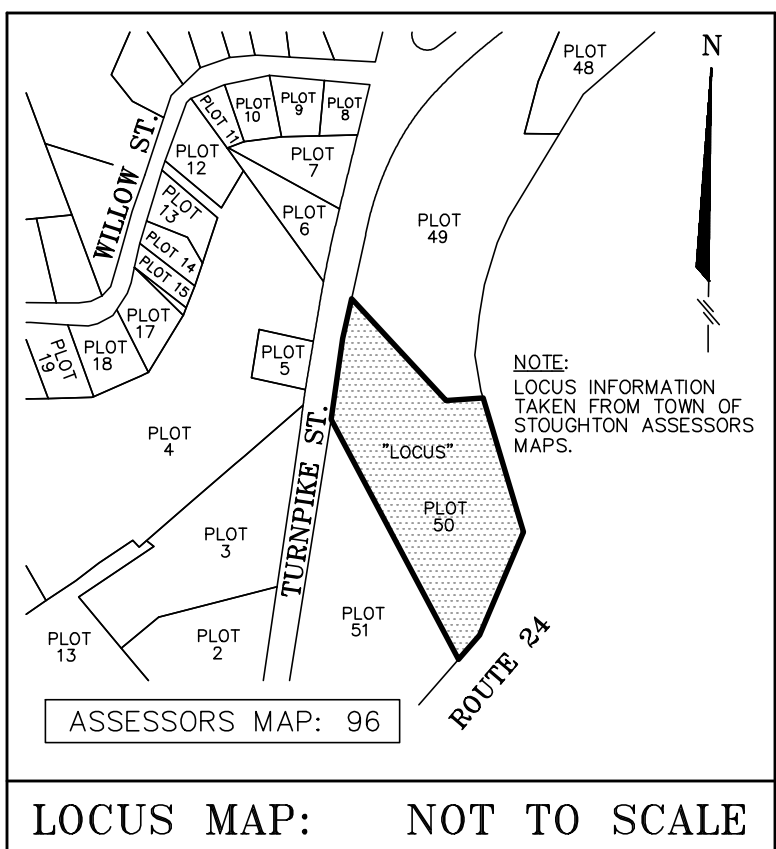
JOB NUMBER: 01-2020-035



LEGEND:

- BUILDING SETBACK LINE
- EXISTING CONTOUR LINE
- EXISTING ELEVATION
- BORDERING VEGETATED WETLAND
- 100' WETLAND BUFFER LINE
- 75' WETLAND BUFFER LINE
- 50' WETLAND BUFFER LINE
- 25' WETLAND BUFFER LINE
- STOUGHTON WETLAND AREA (GIS)
- STOUGHTON WATERSHED AREA (GIS)

WETLAND DELINEATION PERFORMED BY:
ENVIRONMENTAL CONSULTING & RESTORATION LLC
BRAD HOLMES, PROFESSIONAL WETLAND SCIENTIST (#1464)
DATE DELINEATED: APRIL 9, 2019



ZONING DISTRICT: INDUSTRIAL ("I")

- MINIMUM LOT SIZE: 80,000 S.F.
- MINIMUM LOT FRONTAGE: 150'
- MINIMUM LOT WIDTH: 125'
- MINIMUM LOT DEPTH: 125'
- MINIMUM LOT SETBACKS: FRONT YARD = 25'
- SIDE YARD = 20'
- REAR YARD = 40'

- MAXIMUM BUILDING HEIGHT: 40' (4 STORIES)
- MAXIMUM % BUILDING COVERAGE: 50%
- MAXIMUM % LOT COVERAGE: 75%
- MINIMUM % OPEN SPACE: 25%

- PARKING REQUIREMENTS: USE SPECIFIC
- ASSESSORS MAP: 96 PLOT: 50

- F.E.M.A. FLOOD HAZARD INFORMATION:
F.I.R.M. MAP COMMUNITY #: 250253
PANEL #: 0212
SUFFIX: E
MAP #: 25021C0212E
EFFECTIVE DATE: JULY 17, 2012
ZONE: X

- LOCUS PROPERTY FALLS WITHIN D.E.P. ZONE "C"
SURFACE WATER SUPPLY PROTECTION AREA

- OWNER ON RECORD: PEACOCK REALTY LLC
1360 COMMONWEALTH AVE.
BOSTON, MA. 02134

- DEED REFERENCE: L.C. CERT. #: 192746
DOC. #: 1347809

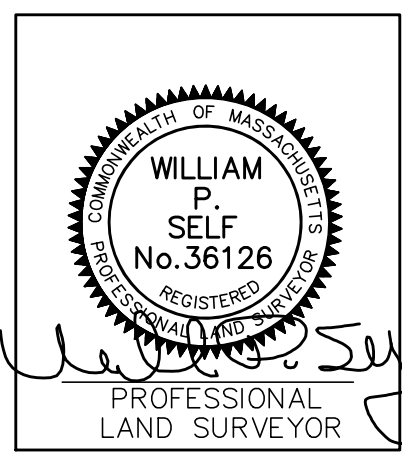
- PLAN REFERENCES: PLAN #: L.C. 40330A

"EXISTING CONDITIONS"
1735 TURNPIKE STREET - STOUGHTON, MA.

PREPARED FOR: PEACOCK REALTY LLC
P.O. BOX 170835
BOSTON, MA. 02134

DATE: OCT. 23, 2020

CURLEY & HANSEN SURVEYORS
160 Pond St. Avon, Ma.
(508) 580-2117

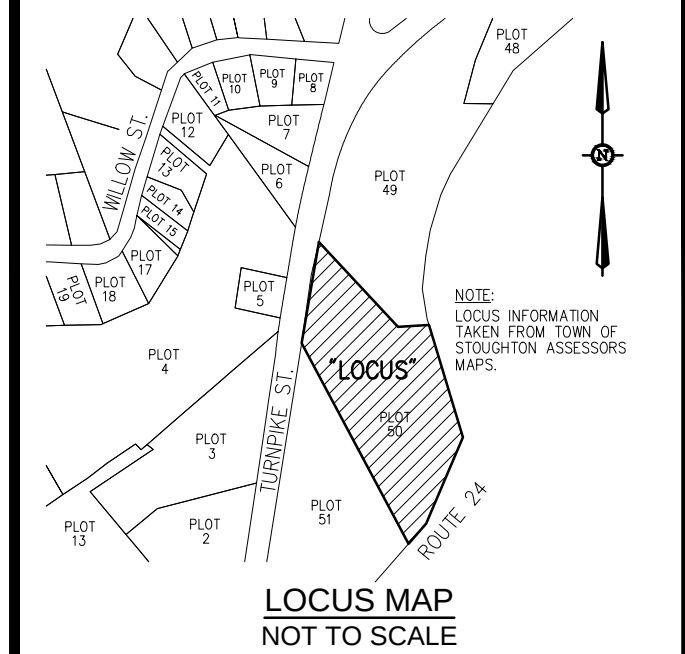
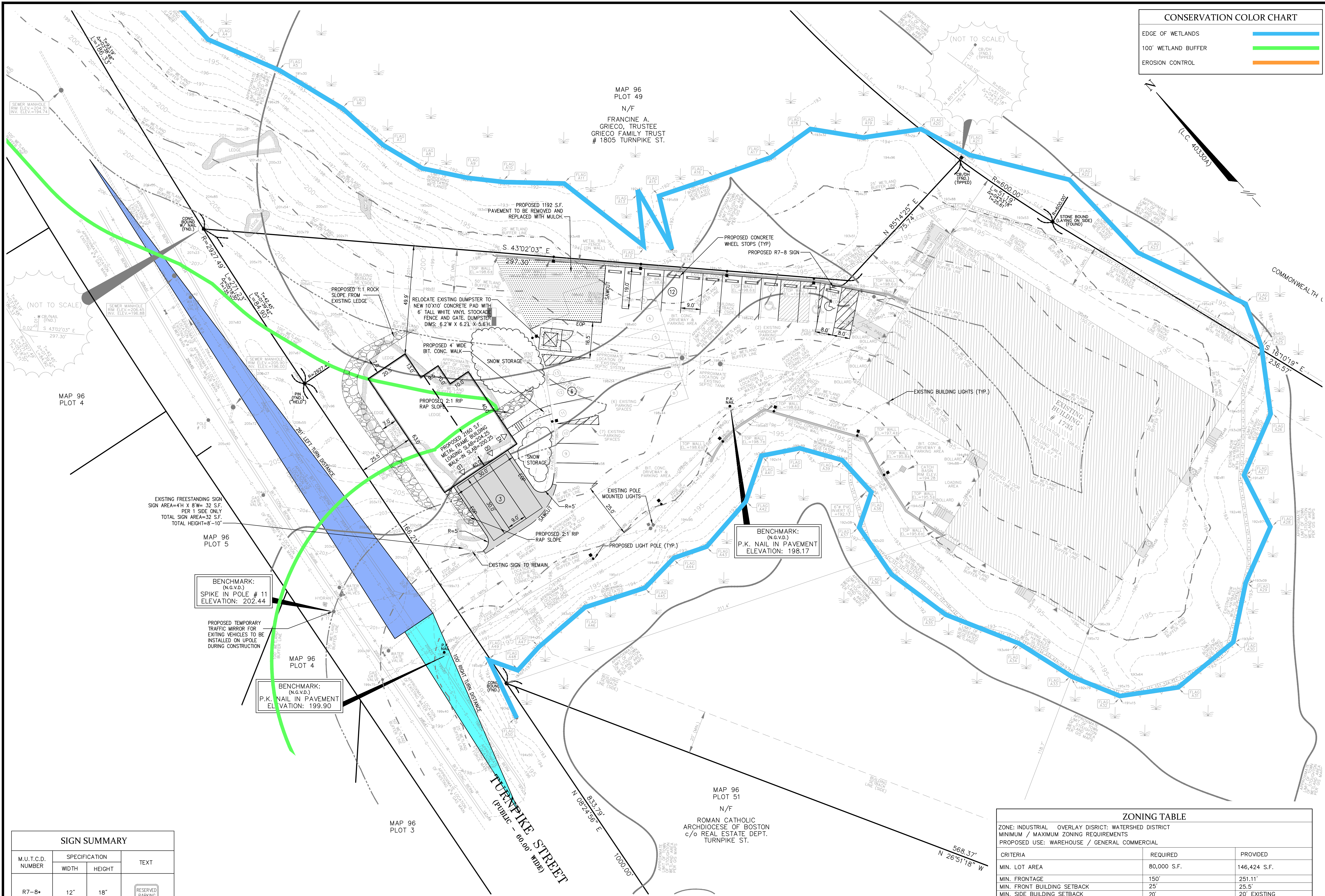


MAP 96
PLOT 51
N/F
ROMAN CATHOLIC
ARCHDIOCESE OF BOSTON
c/o REAL ESTATE DEPT.
TURNPIKE ST.

PLAN
SCALE: 1"=20'

**MAP 96
PLOT 50
AREA:
146,424 S.F.
(3.36 ACRES)**

- LOCUS PROPERTY DOES NOT FALL WITHIN AN ESTIMATED / PRIORITY HABITAT FOR RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM (MONHESP).
- LOCUS PROPERTY DOES NOT CONTAIN ANY CERTIFIED VERNAL POOLS ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM (MONHESP).
- LOCUS PROPERTY DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FIRM MAP NUMBER 25021C0212E EFFECTIVE DATE OF JULY 17, 2012.
- LOCUS PROPERTY DOES NOT CONTAIN OR IS NEAR A U.S.G.S. MAPPED 'STREAM'.
- LOCUS PROPERTY DOES NOT FALL WITHIN AN A.C.E.C.
- LOCUS PROPERTY DOES NOT FALL WITHIN A DEP APPROVED WETLAND PROTECTION AREA (ZONE II)



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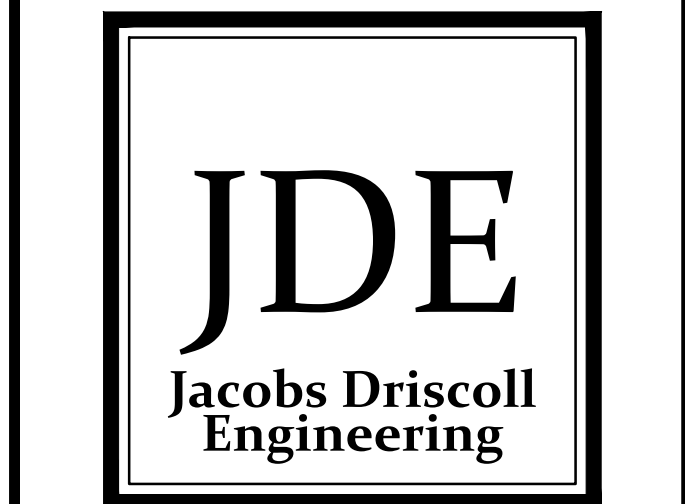
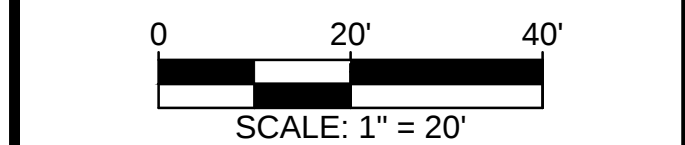
DRAWN BY: TME / JVW
CHECKED BY: EPJ
DESIGNED BY: TME / JVW / GWD

LAYOUT & MATERIALS PLAN

1735 TURNPIKE STREET
IN
STOUGHTON
(NORFOLK COUNTY)
MASSACHUSETTS

JANUARY 20, 2021

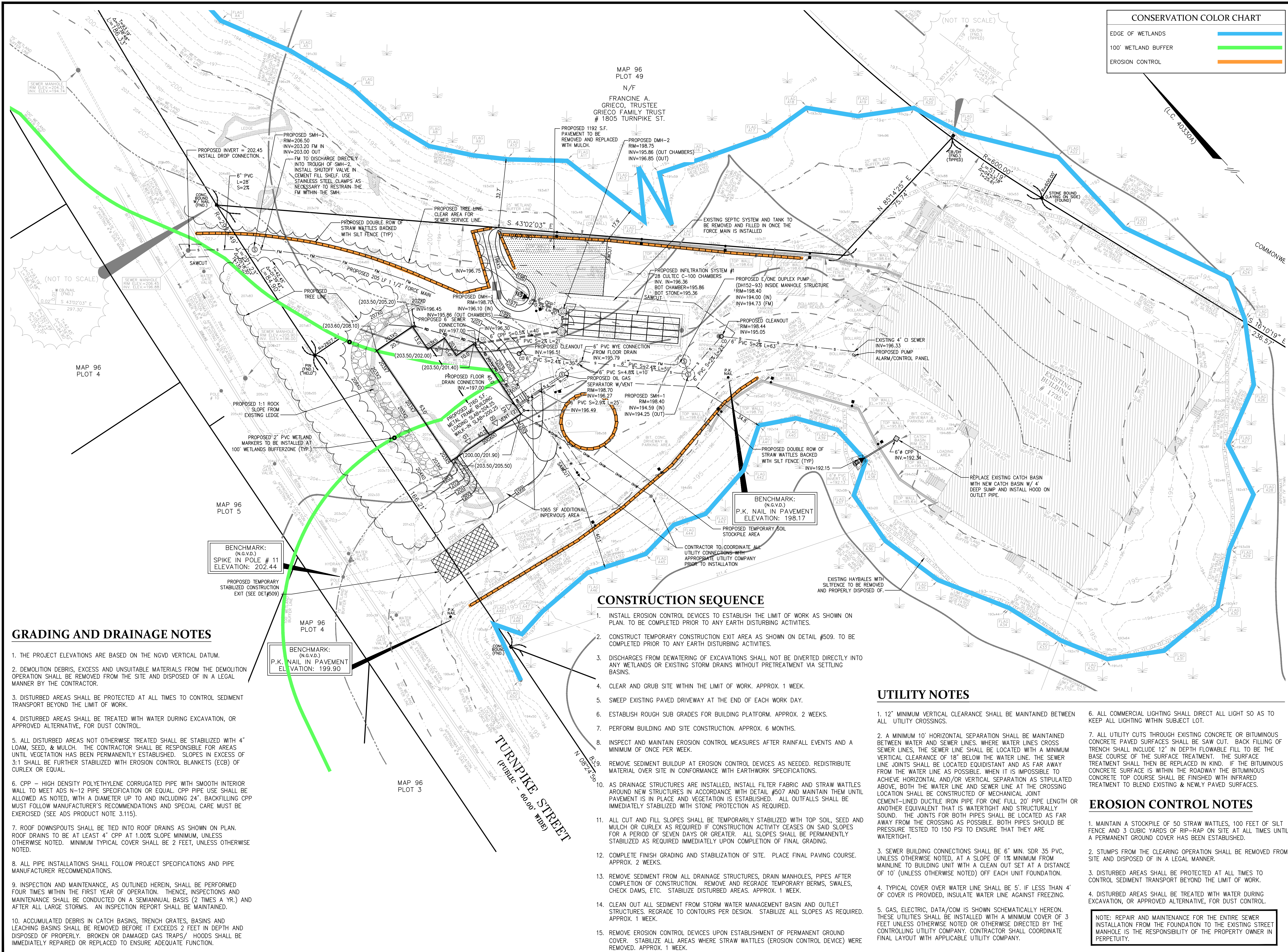
PREPARED FOR:
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P.O. BOX 170842
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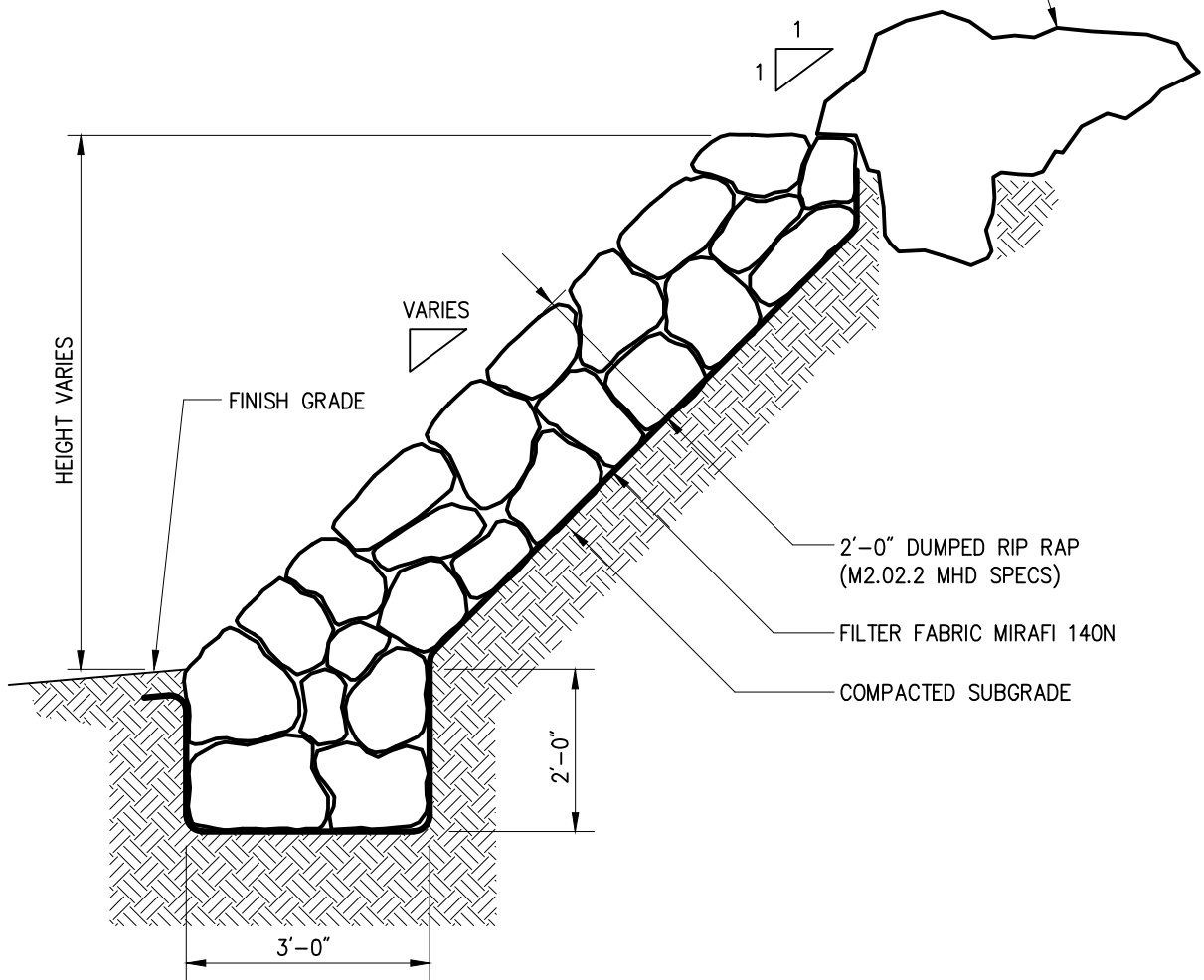


SIGN SUMMARY		
M.U.T.C.D. NUMBER	SPECIFICATION	
	WIDTH	HEIGHT
R7-8*	12"	18"
SPECIAL PLATE REQUIRED UNAUTHORIZED VEHICLES MAY BE REMOVED AT OWNER'S EXPENSE		
* ADD "VAN ACCESSIBLE" WHERE APPROPRIATE		
** COLOR AND WORDING PER LOCAL REQUIREMENTS		



NOTE: LARGER STONES SHALL BE CAREFULLY PLACED (NOT DUMPED) CLOSELY TOGETHER THROUGHOUT THE SURFACE AND INTERSTICES CAREFULLY CHINKED WITH SMALLER STONES.

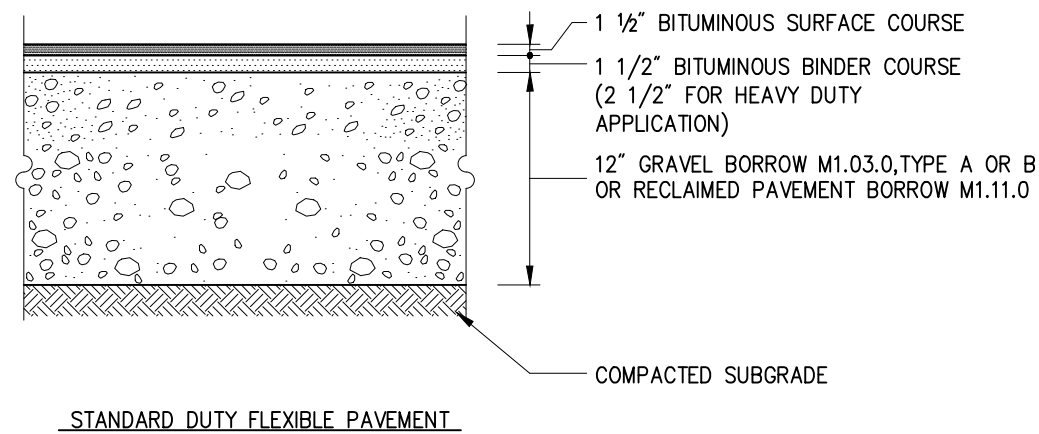
NOTE: IF LEDGE IS TO REMAIN IT WILL BE EXCAVATED AT A MAX. SLOPE 1:1 SLOPE.



DETAIL # 834

STONE SLOPE STABILIZATION

JDE



COMPOSITION AND COMPACTION ACCEPTANCE TESTS

1. OBTAIN SAMPLES FROM PLANT TO INDICATE CONFORMANCE WITH M3.11.09
2. PAVEMENT DENSITY AS OUTLINED IN M3.11.09
3. ALL SAMPLES TO BE TAKEN IN ACCORDANCE WITH AASHTO T230
4. MATERIALS SHALL MEET OR EXCEED THE REQUIREMENTS SPECIFIED IN SECTION M3.11.00 DIVISION III, MATERIALS AND THE FOLLOWING SUBSECTIONS

MINERAL AGGREGATE :M3.11.04 BITUMINOUS MATERIALS :M3.11.06 MINERAL FILLER :M3.11.05
COMPOSITION OF BASE COURSE :M3.11.02

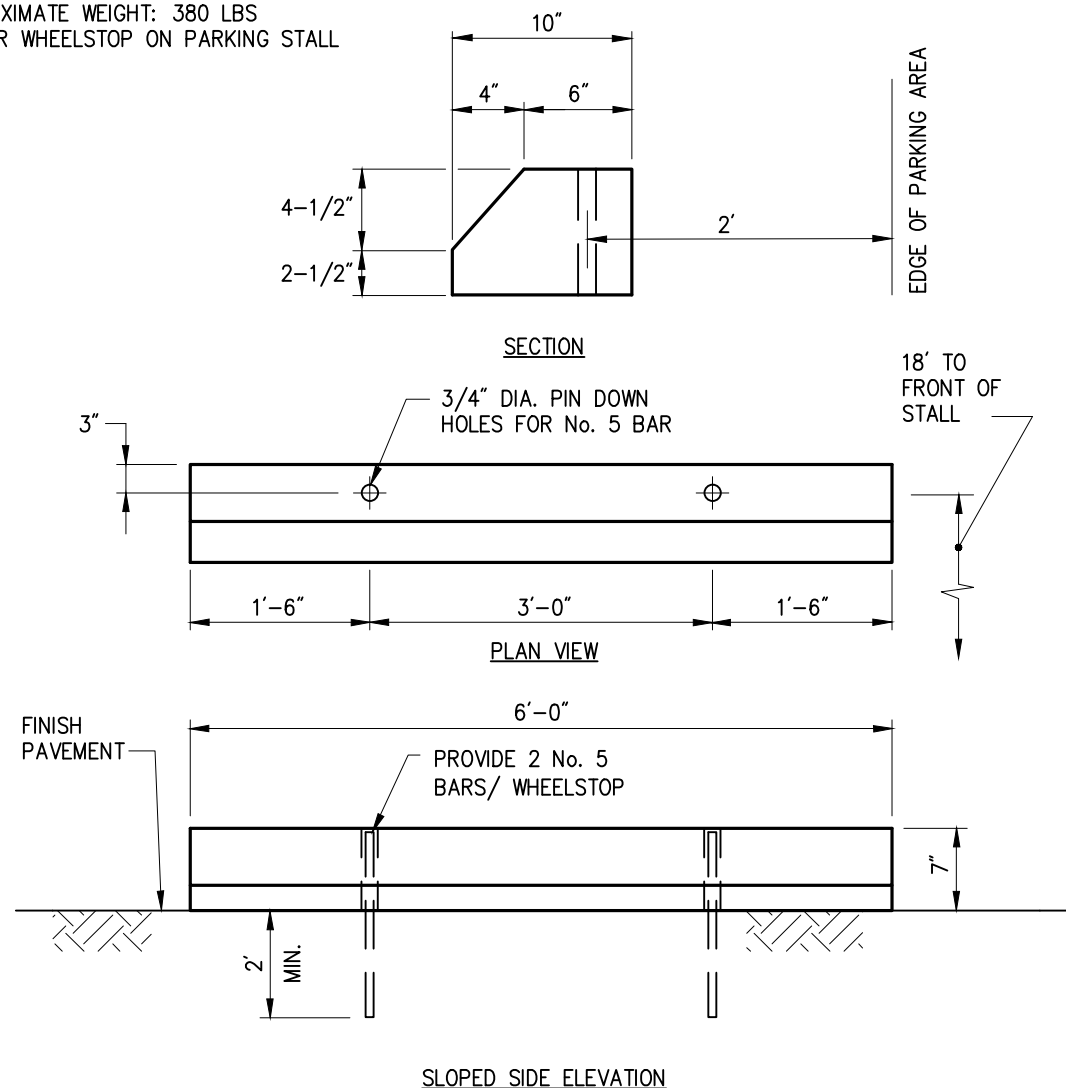
5. THE BITUMINOUS CONCRETE BASE COURSE SHALL BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT SECTIONS/PROVISIONS OF SECTION 460 FOR CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1
6. CLASS I BITUMINOUS PAVEMENT TYPE I-1 REQUIRED THE SAME TESTING AS BASE COURSE AND SHALL HAVE A MINIMUM OF 95% COMPACTION. TESTING TO BE COMPLETED BY METHODS OUTLINED IN M3.11.00

DETAIL # 418

BITUMINOUS CONCRETE PAVEMENT

JDE

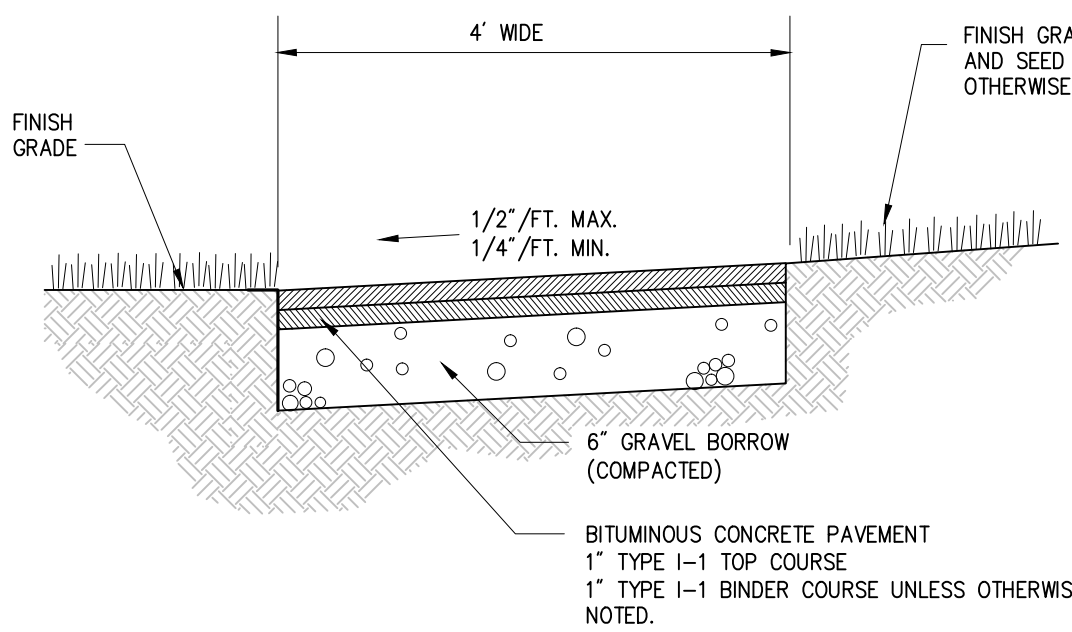
- DESIGN DATA
1. CONCRETE STRENGTH F'C 4,000 PSI @ 28 DAYS. DENSITY 150 PCF.
 2. CEMENT, PORTLAND TYPE I OR III PER C150-81.
 3. ADMIXTURES, AIR & PLASTICIZERS PER ASTM C223-82.
 4. AIR ENTRAINMENT 5%-7%
 5. APPROXIMATE WEIGHT: 380 LBS
 6. CENTER WHEELSTOP ON PARKING STALL



DETAIL # 445

CONCRETE WHEEL STOP

JDE

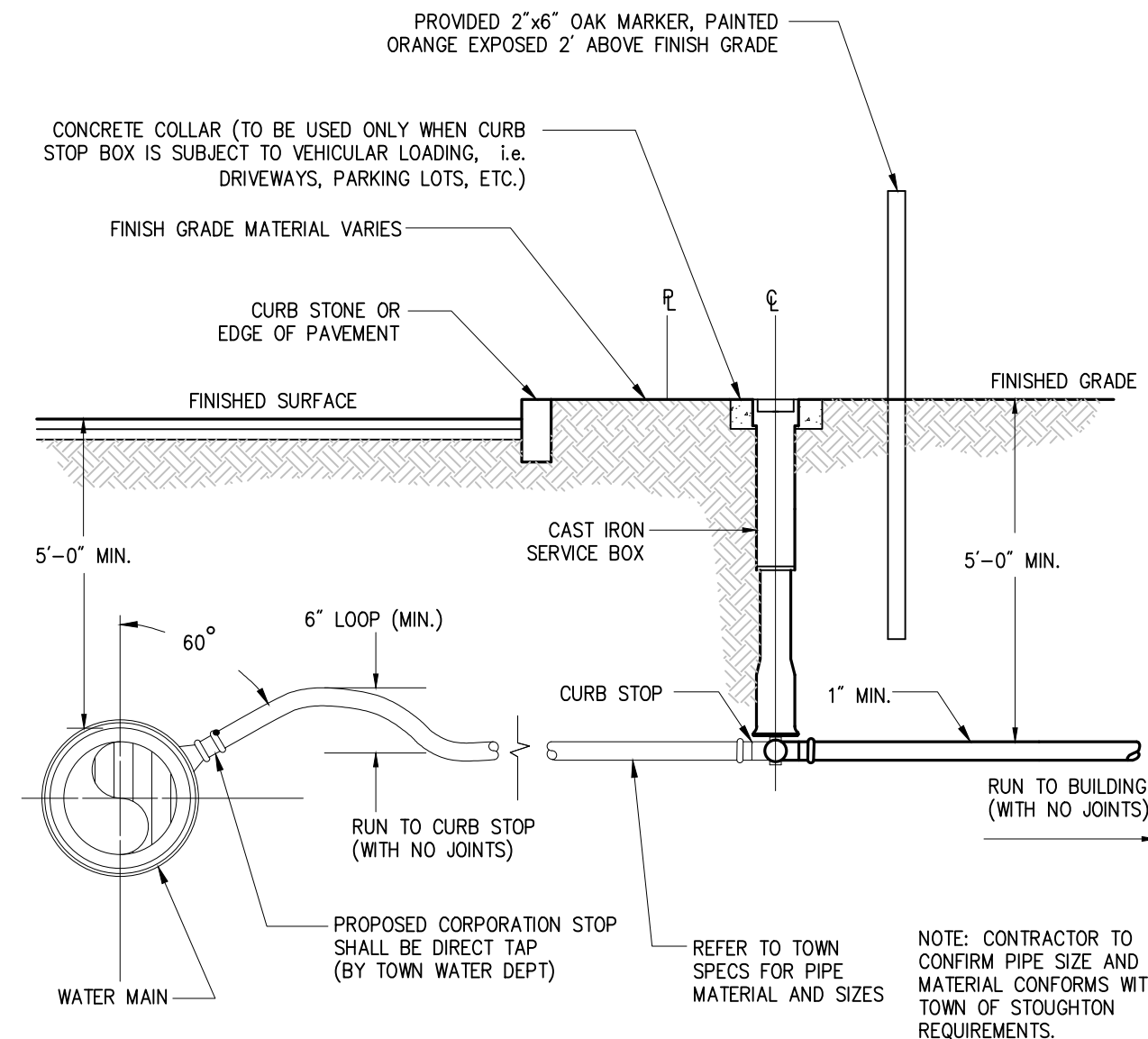


DETAIL # 417

BITUMINOUS CONCRETE SIDEWALK

JDE

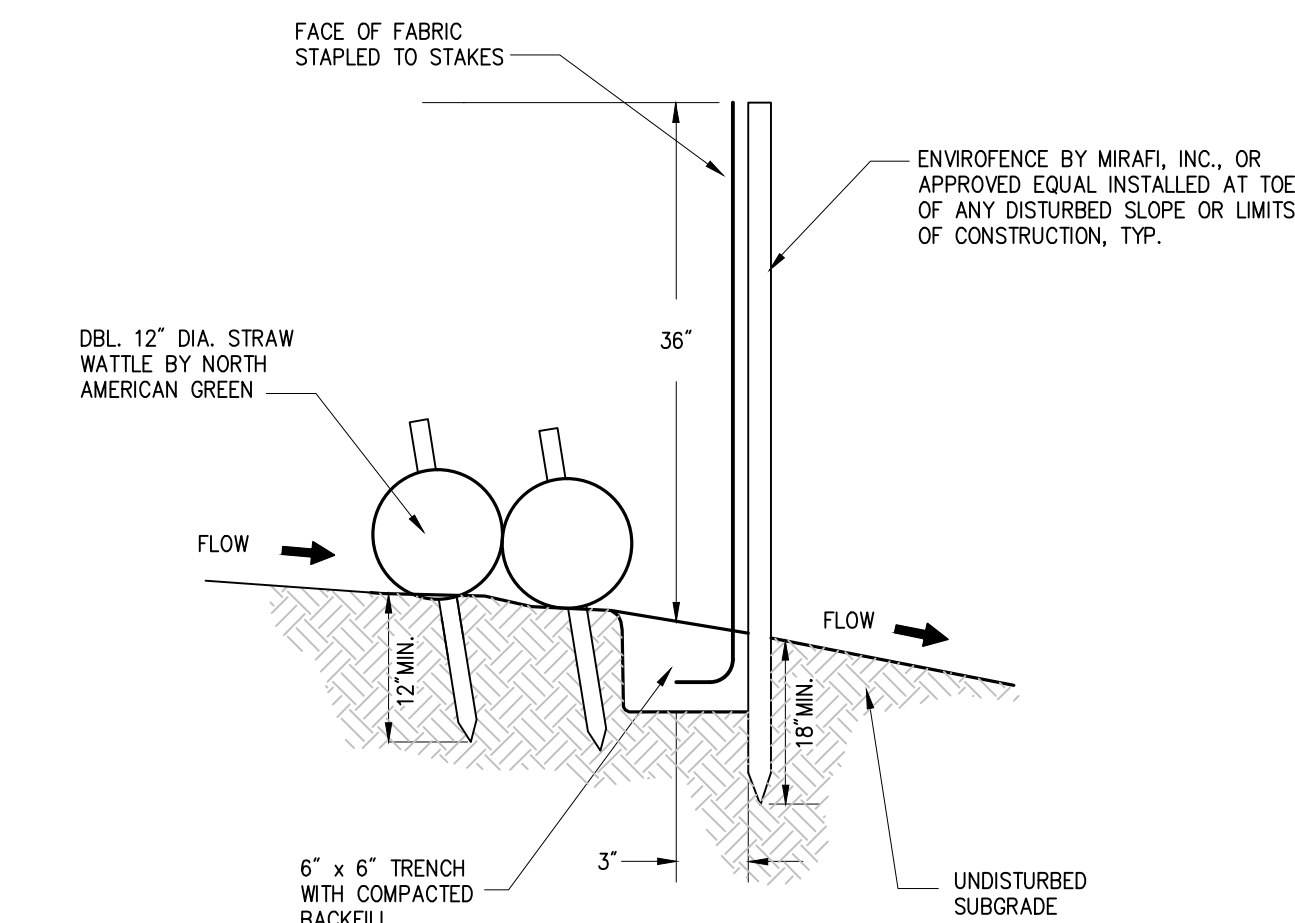
** REFER TO TOWN OF STOUGHTON DPW WATER DEPT. NOTES FOR SPEC. **



DETAIL # 304

WATER SERVICE CONNECTION

JDE

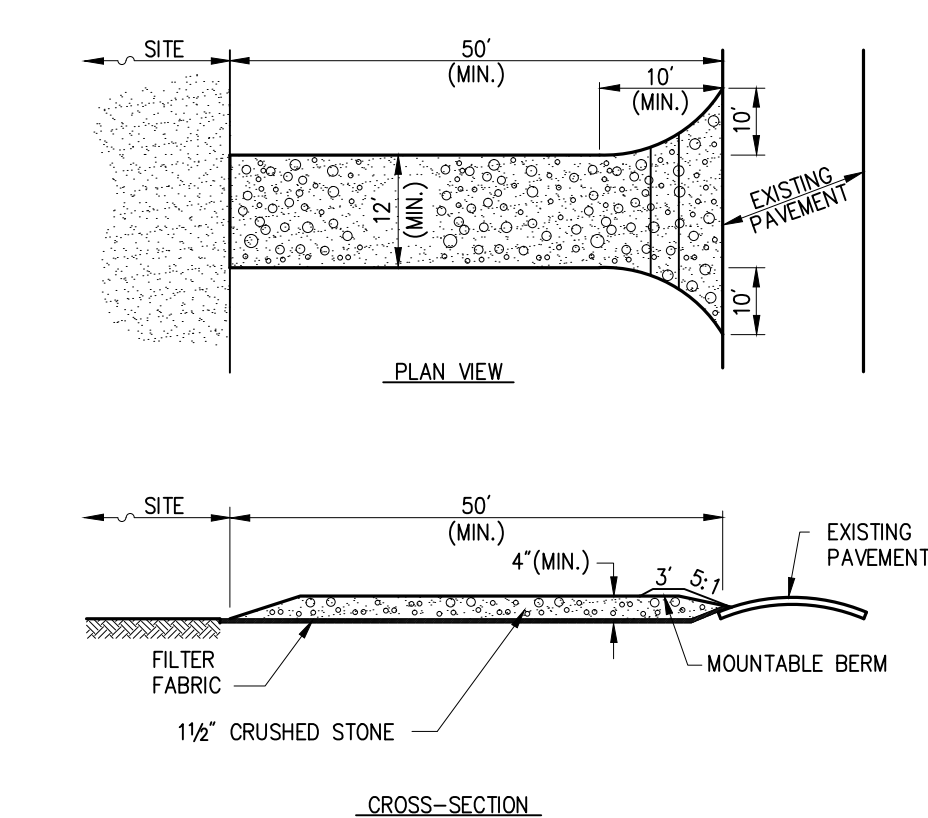


NOTES:

1. SILTATION FENCE SHALL BE "ENVIROFENCE" AS MANUFACTURED BY MIRAFI, INC. OR APPROVED EQUAL.
2. SILTATION FENCING SHALL BE INSTALLED DOWNSLOPE OF ALL PROPOSED AND EXISTING DISTURBED AREAS, OR AS SHOWN ON THE PLANS.
3. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL VEGETATIVE OR STABILIZED COVER HAS BEEN FIRMLY ESTABLISHED.
4. EROSION CONTROL MEASURES SHALL FOLLOW THE PERFORMANCE STANDARDS OF THE USDA SOIL CONSERVATION SERVICE, AND ANY APPLICABLE STATE/LOCAL CONSERVATION AUTHORITY.

DETAIL # 522

STRAW WATTLE / SILT FENCE BARRIER



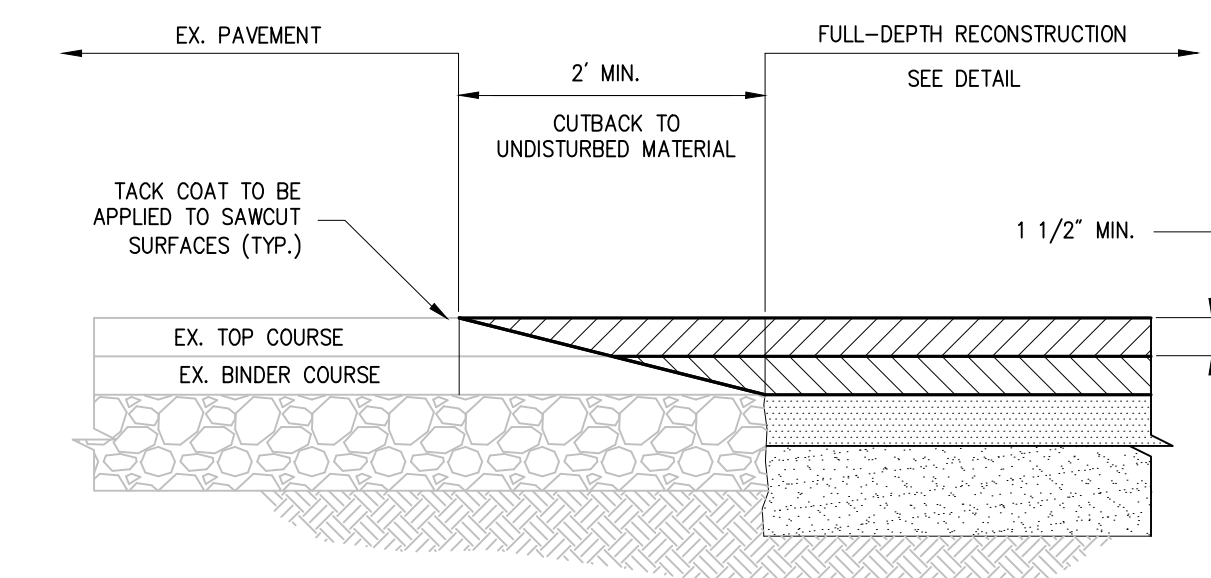
NOTES:

1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.

DETAIL # 509

STABILIZED CONSTRUCTION EXIT

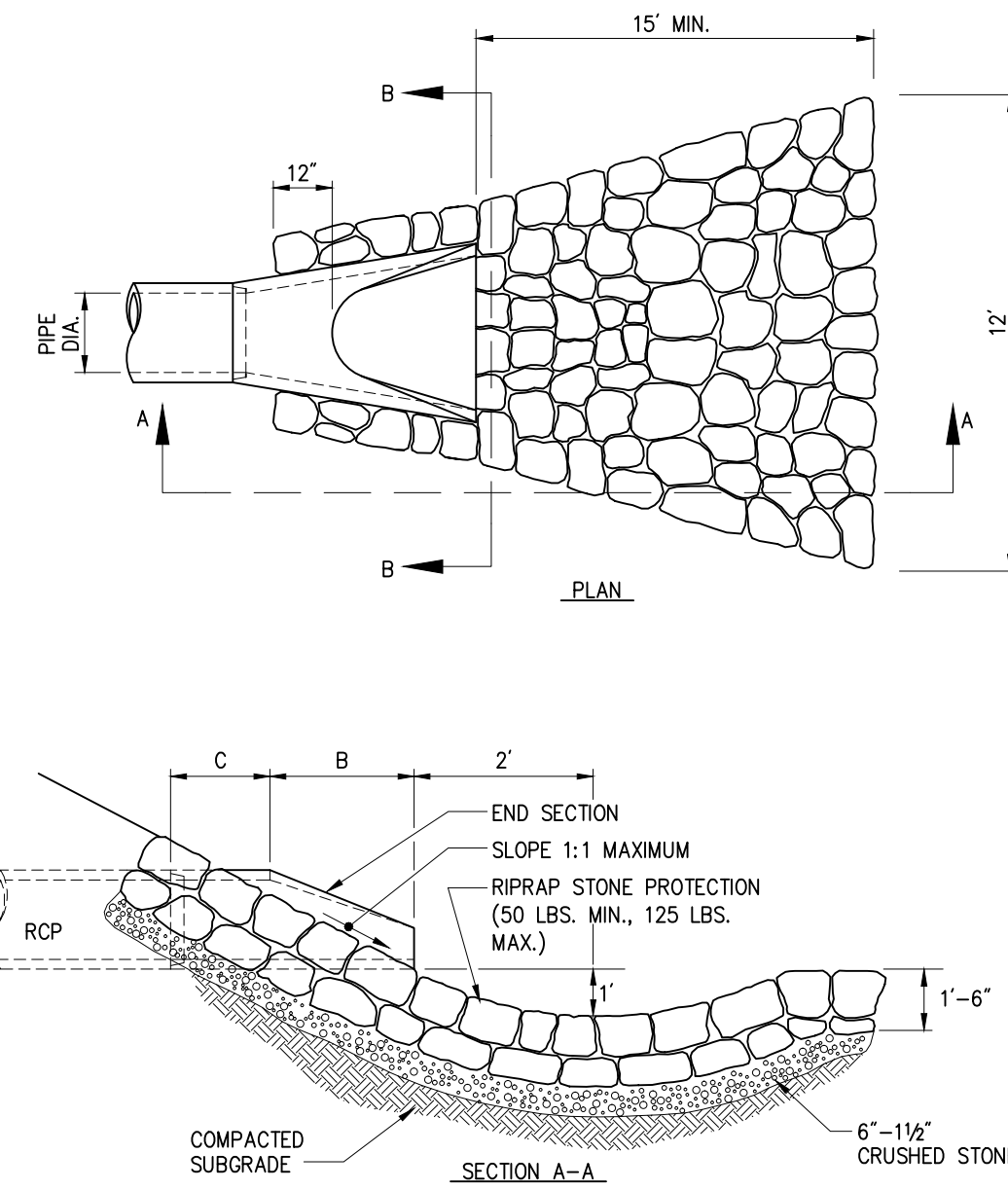
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DETAIL # 435

PERMANENT PAVEMENT TRANSITION

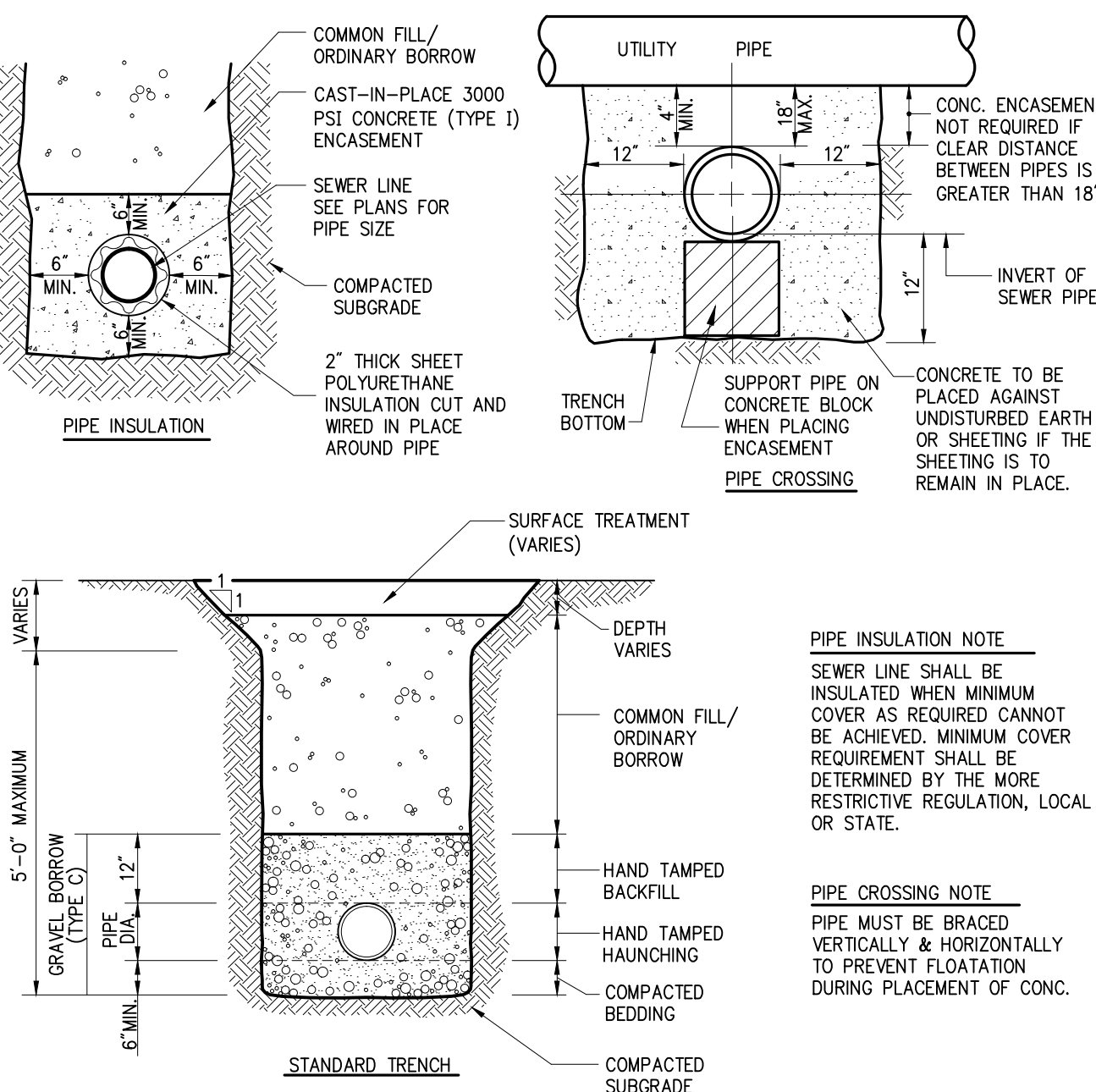
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DETAIL # 114

FLARED END SECTION W/ STONE PROTECTION

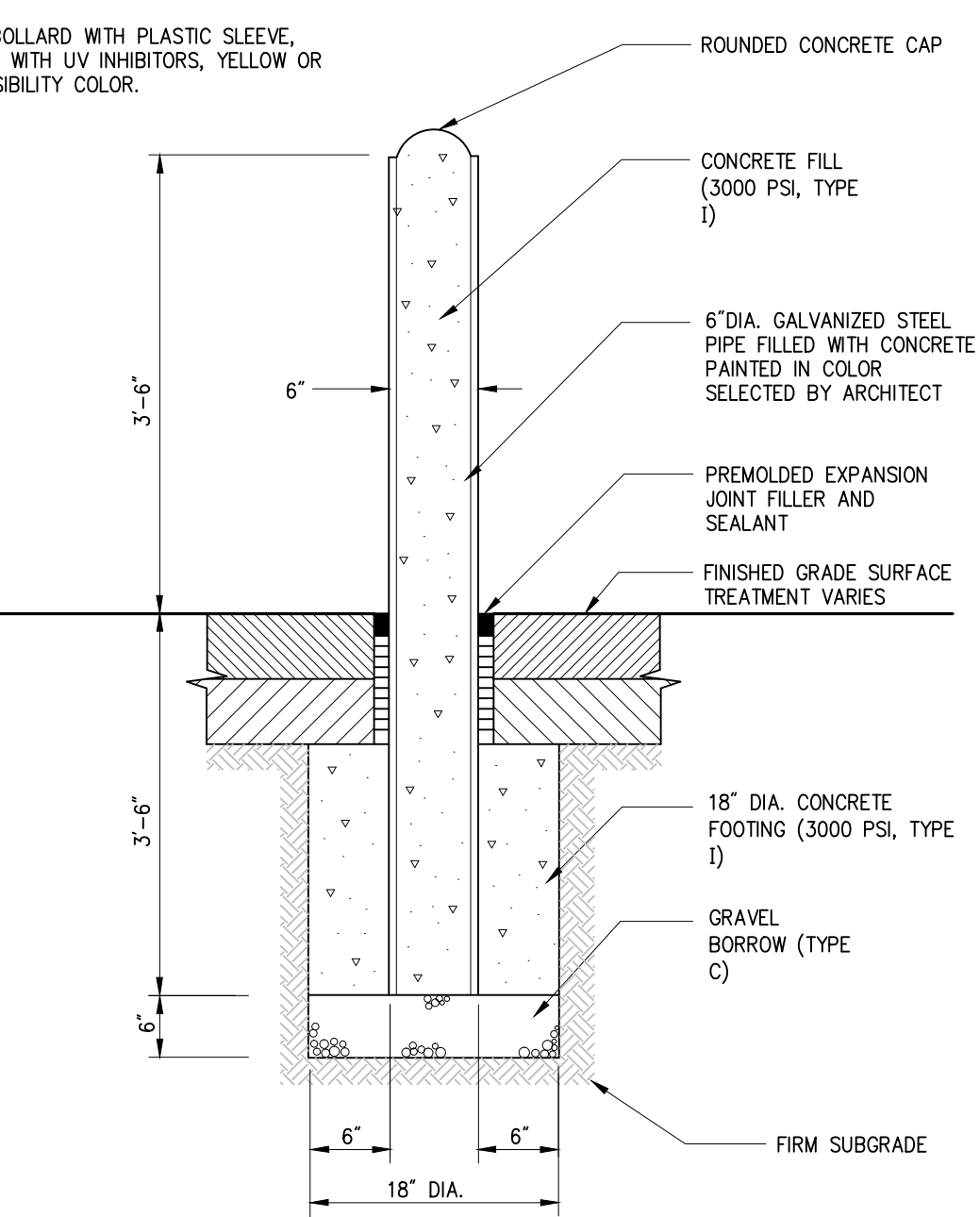
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DETAIL #018

UTILITY TRENCH

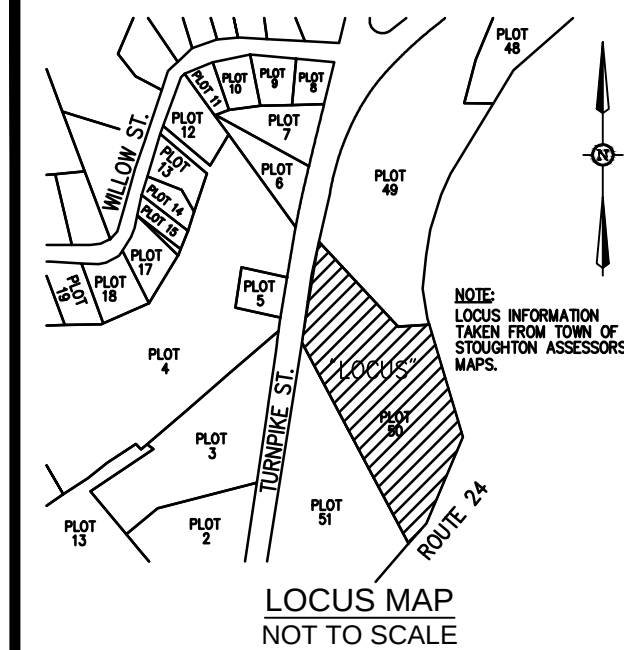
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DETAIL # 446

CONCRETE FILLED BOLLARD

JDE



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CONSTRUCTION DETAILS

1735 TURNPIKE STREET
IN
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MASSACHUSETTS

JANUARY 20, 2021

PREPARED FOR:

PEACOCK REALTY, LLC
P.O. BOX 170842
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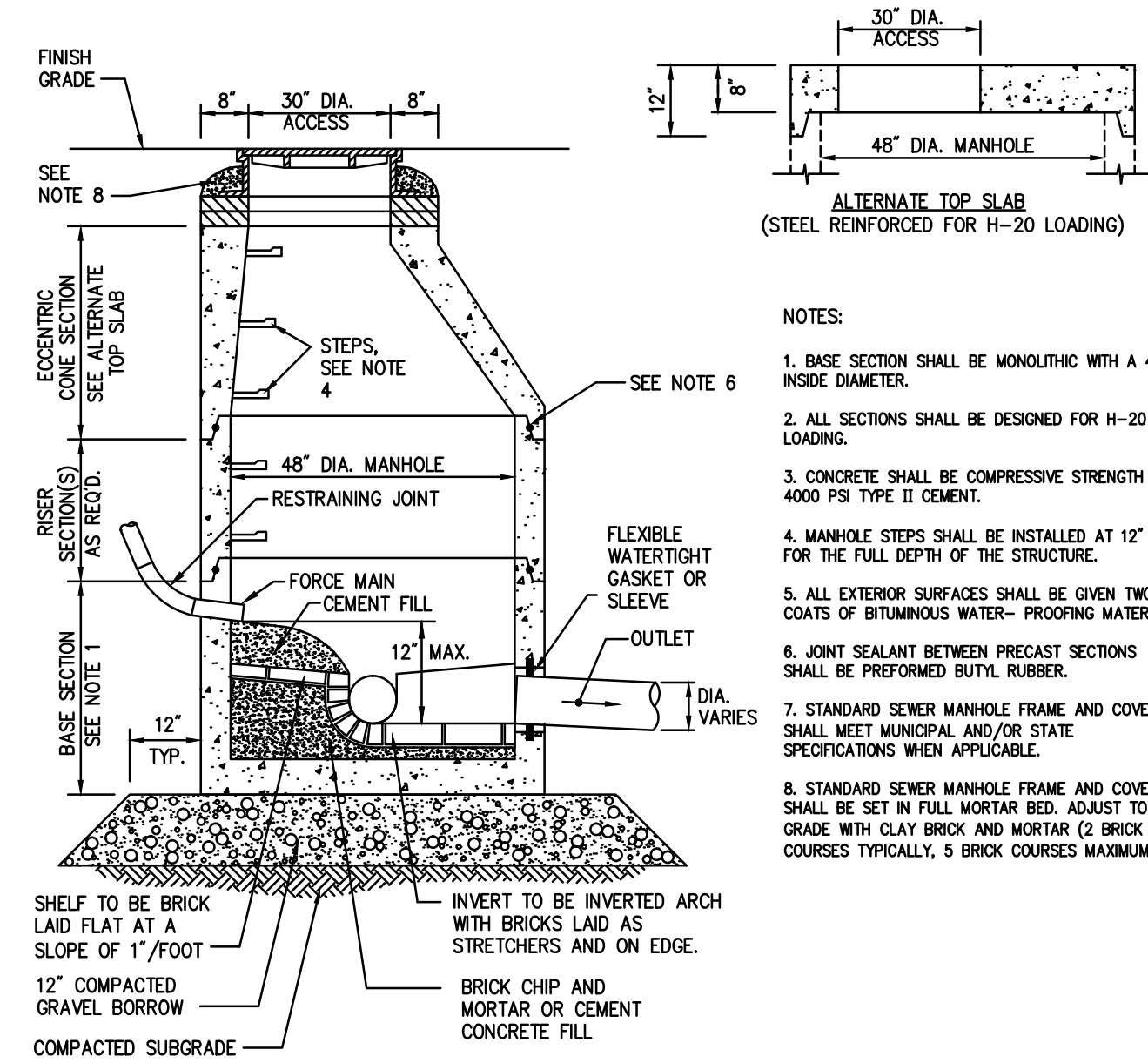
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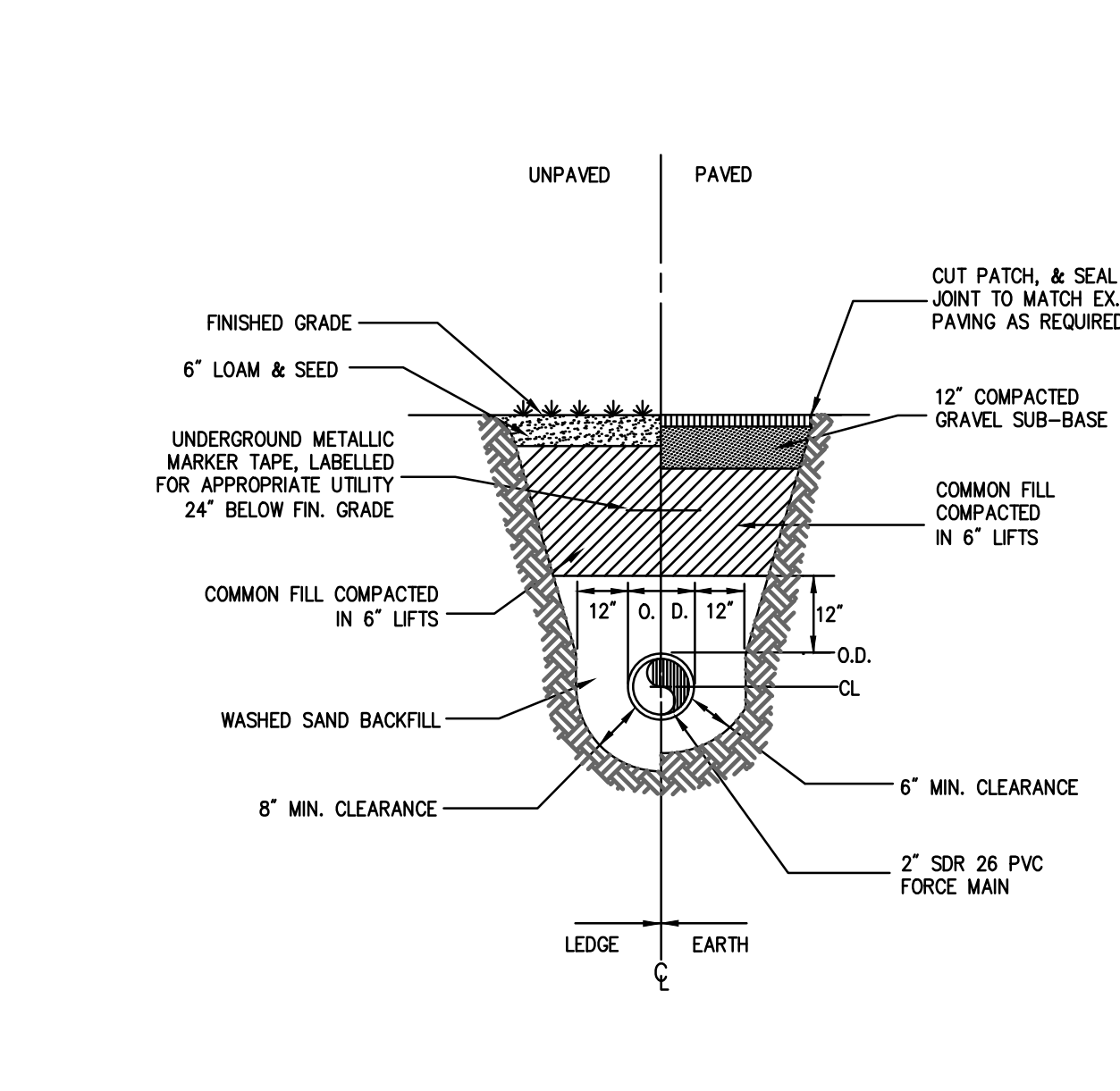


SHEET 5 OF 14

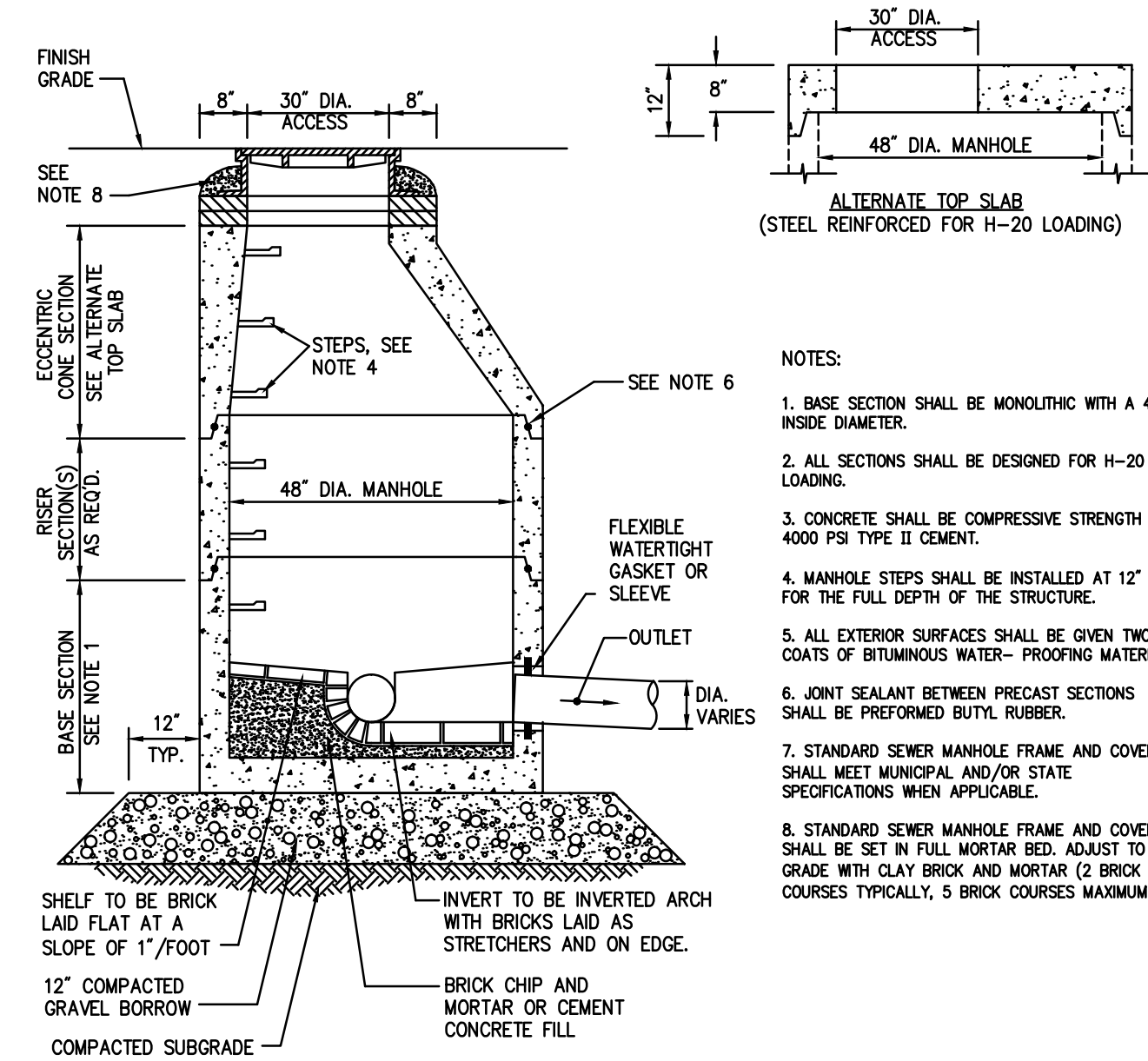
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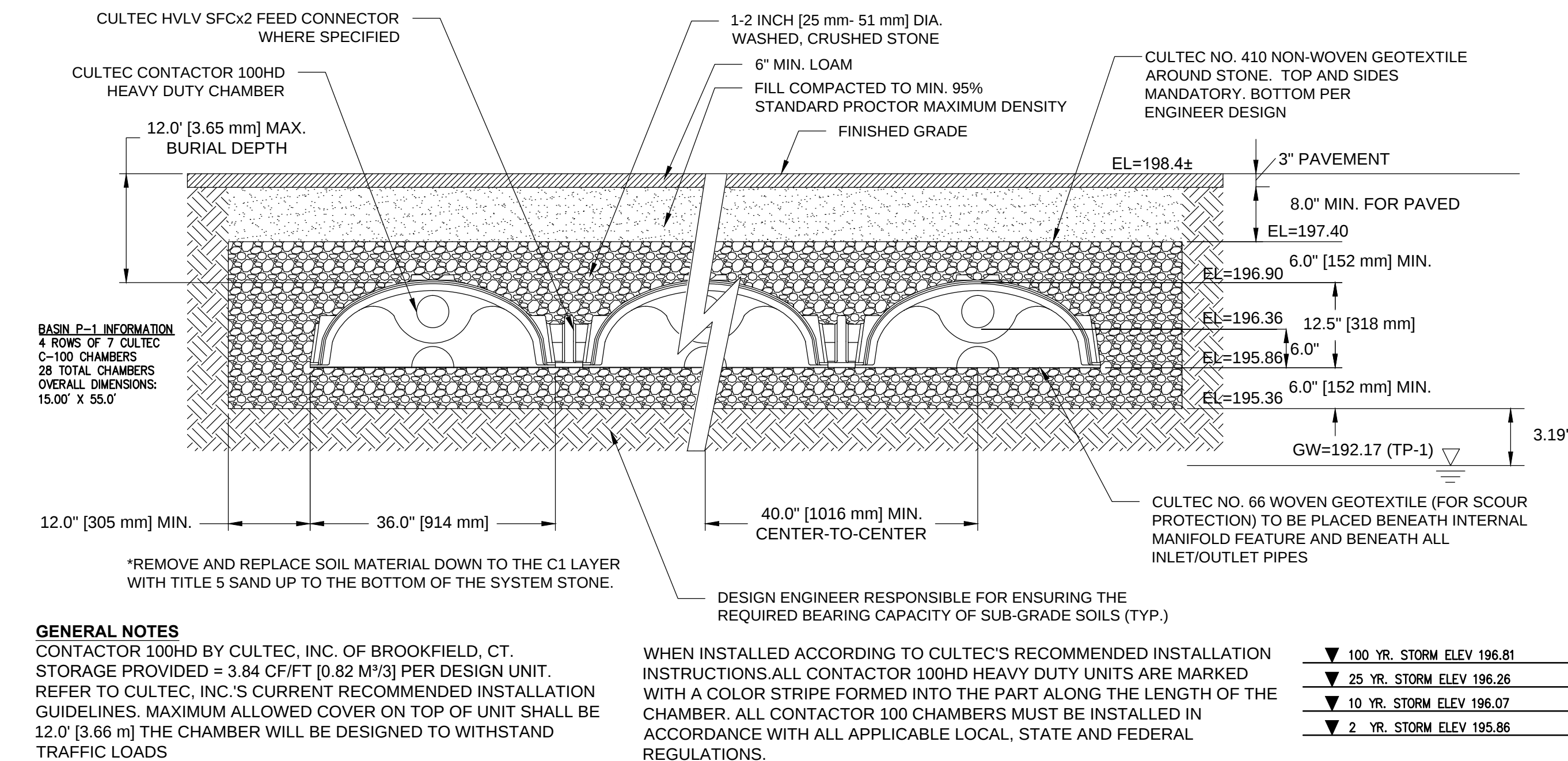
DETAIL # 211 FORCE MAIN SEWER MANHOLE (SMH) JDE



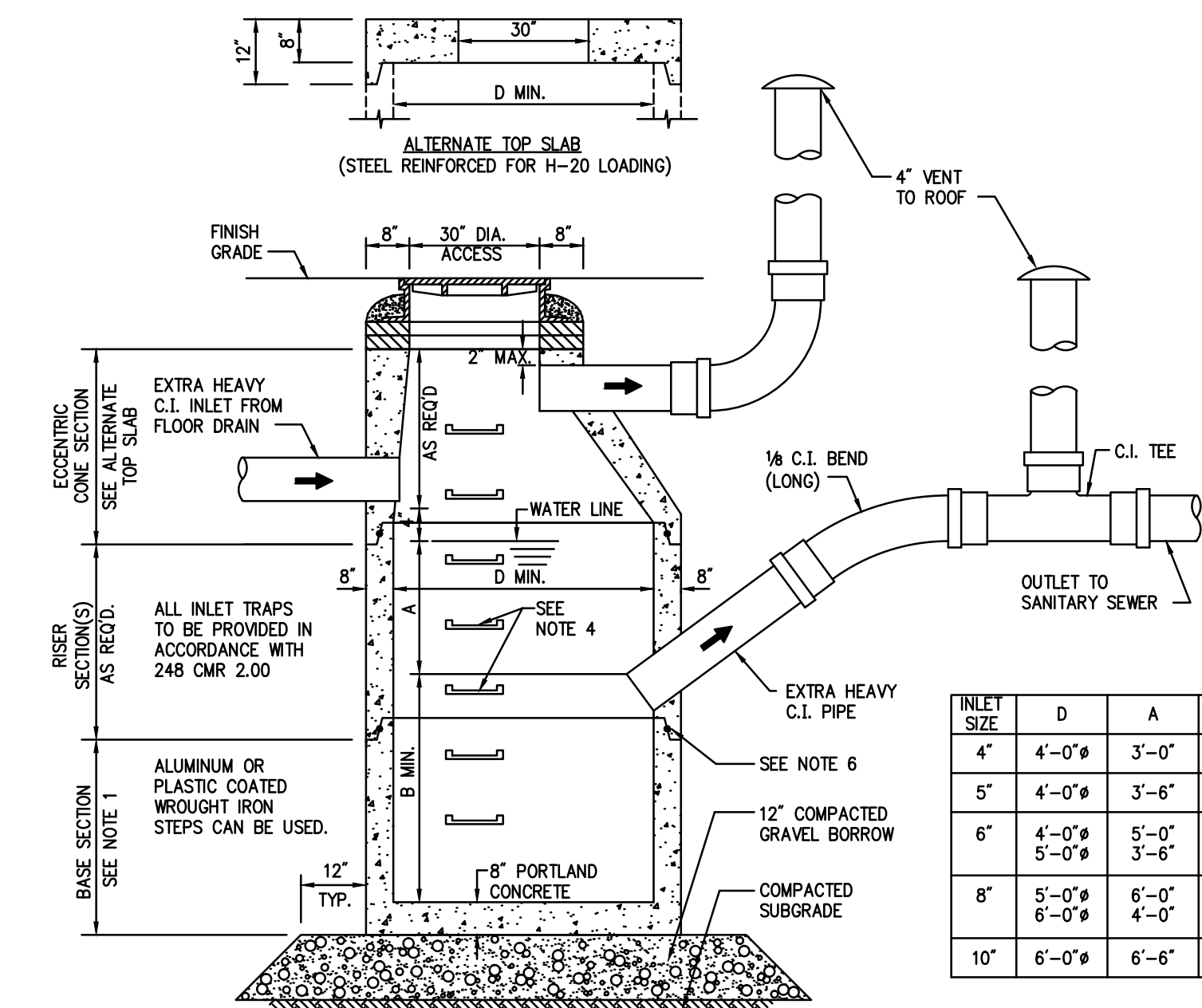
DETAIL # 256 FORCE MAIN TRENCH JDE



DETAIL # 201 SANITARY SEWER MANHOLE (SMH) JDE

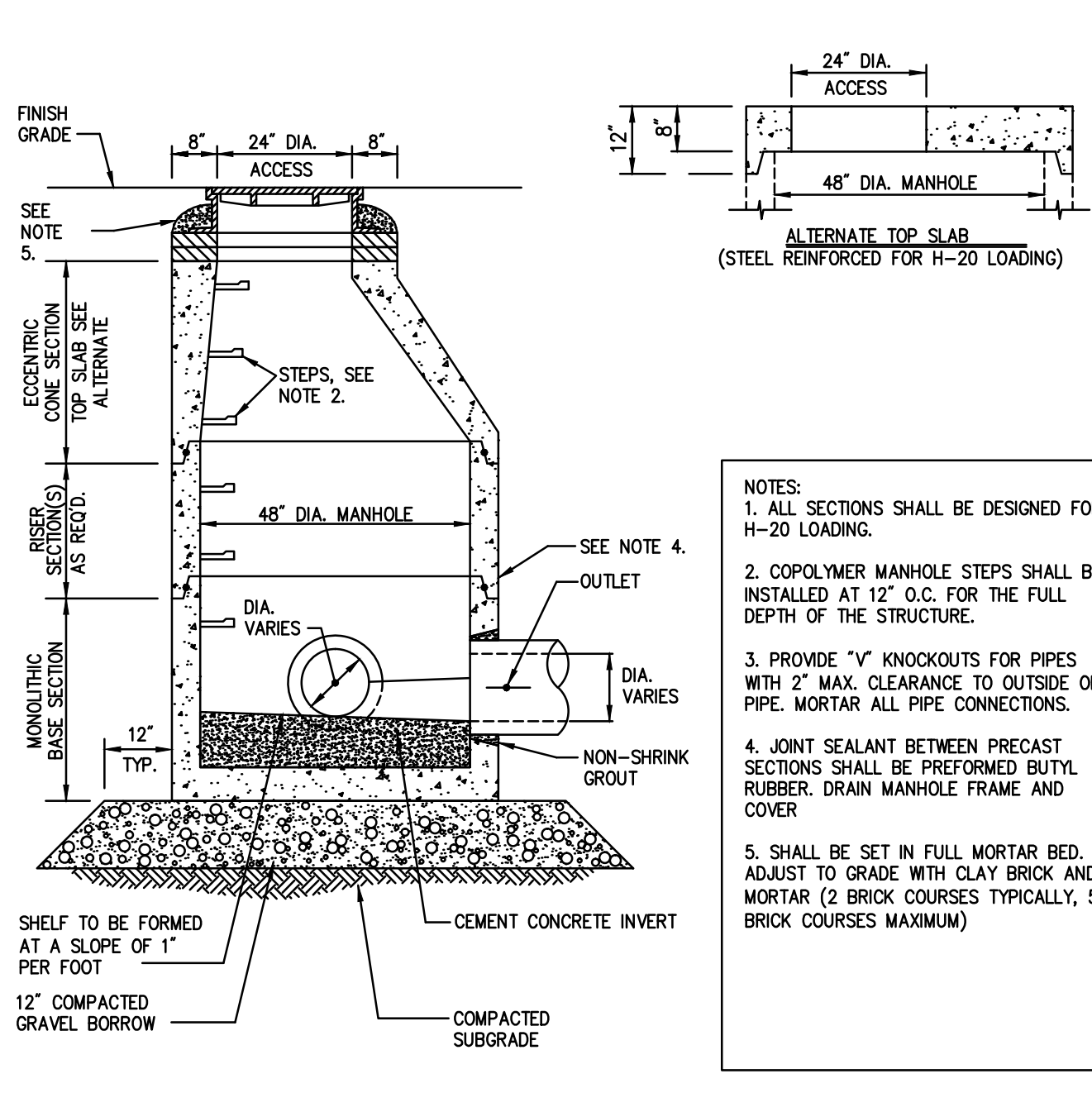


DETAIL # XXX CULTEC 100HD - BASIN P-1 JDE

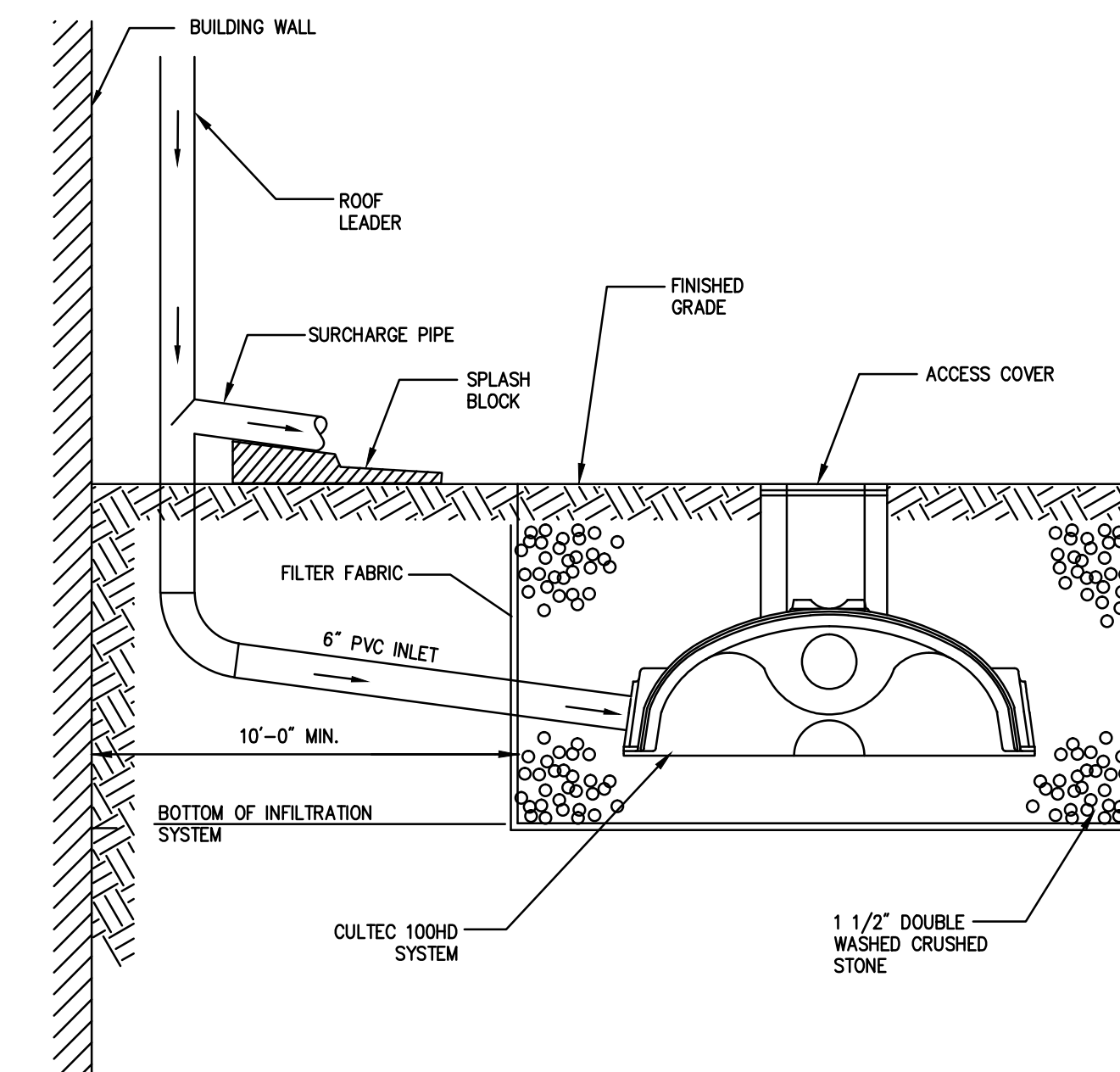


DETAIL # 112 M.W.R.A. OIL AND GAS SEPARATOR JDE

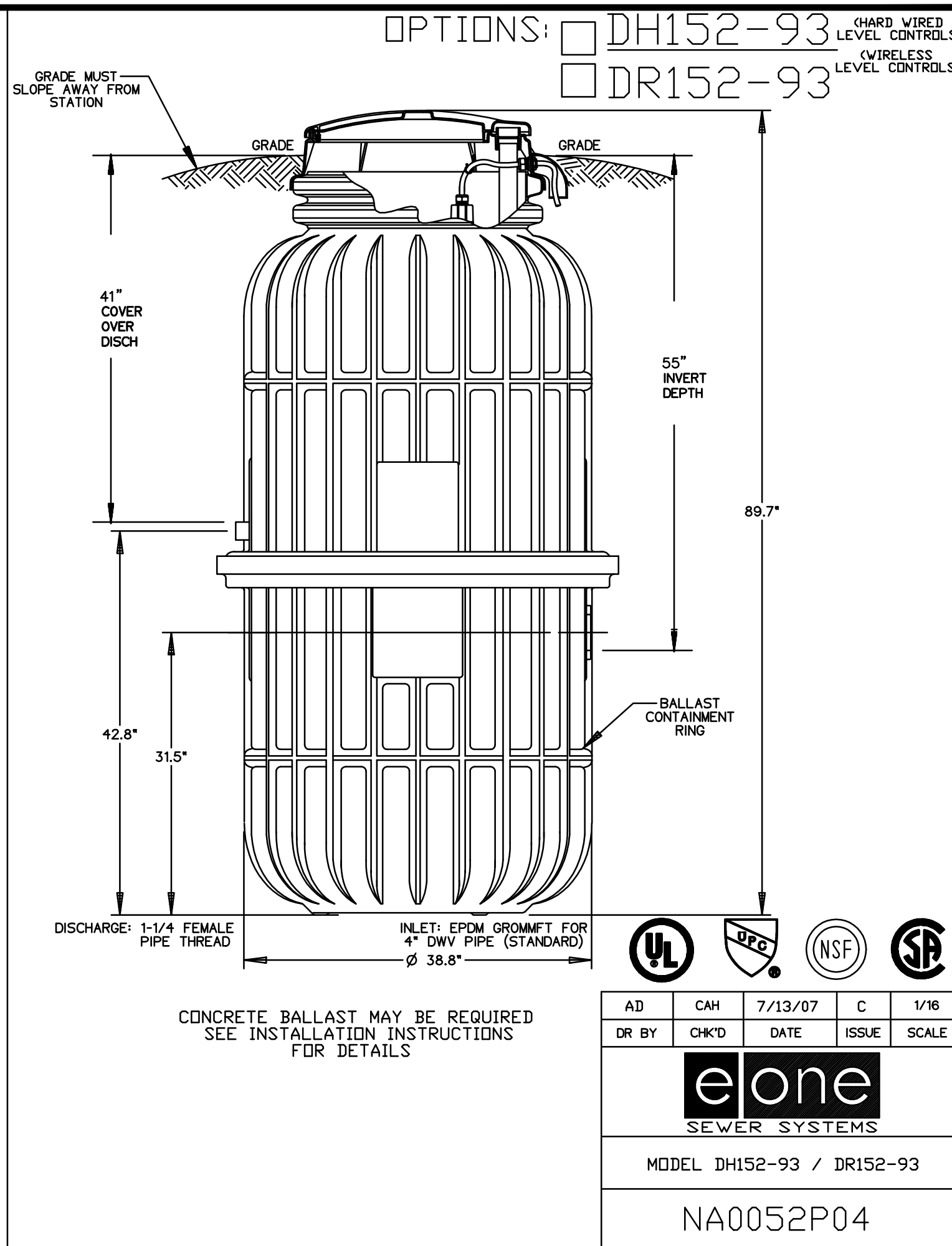
- NOTES:
1. BASE SECTION SHALL BE MONOLITHIC WITH 48", 60" OR 72" INSIDE DIAMETER.
 2. ALL SECTIONS SHALL BE DESIGNED FOR H-20 LOADING.
 3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 4. MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 5. ALL EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATERPROOFING MATERIAL.
 6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
 7. STANDARD SEWER MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).
 8. STRUCTURE TO BE LOCATED OUTSIDE OF BUILDING WHERE POSSIBLE, COVER TO HAVE A CENTER HOLE.
 9. A TIGHT COVER MUST BE USED IF STRUCTURE IS LOCATED INSIDE OF BUILDING.
 10. THE STRUCTURE SHALL BE SO LOCATED AND CONSTRUCTED THAT SURFACE WATER SHALL BE EXCLUDED.
 11. INLET PIPE SHALL BE AT LEAST FOUR INCHES ABOVE NORMAL WATER LINE.
 12. WHERE SUBJECT TO FROST OR CRUSHING CONDITIONS, OUTLET SHALL BE AT LEAST THREE FEET BELOW THE SURFACE.
 13. THE NEW MANHOLE MUST BE FILLED WITH CLEAN WATER BEFORE USING, AND AFTER BEING EMPTIED FOR PERIODIC CLEANING.
 14. ALL OIL AND GASOLINE MUST BE REMOVED BEFORE CLEANING OUT THE BASIN, AND MUST NOT BE DISCHARGED INTO THE SEWER THROUGH OTHER FIXTURES.
 15. SPECIFICATIONS FOR COVERING SPECIAL CASES OR CONDITIONS, SHALL BE APPROVED BY THE LOCAL AUTHORITIES, AND THE AUTHORITIES OF THE M.W.R.A.
 16. BOTH VENTS SHALL BE EXTENDED INDEPENDENTLY 18" ABOVE THE ROOF, OR AS APPROVED BY THE LOCAL AUTHORITIES, AND THE AUTHORITIES OF THE M.W.R.A.



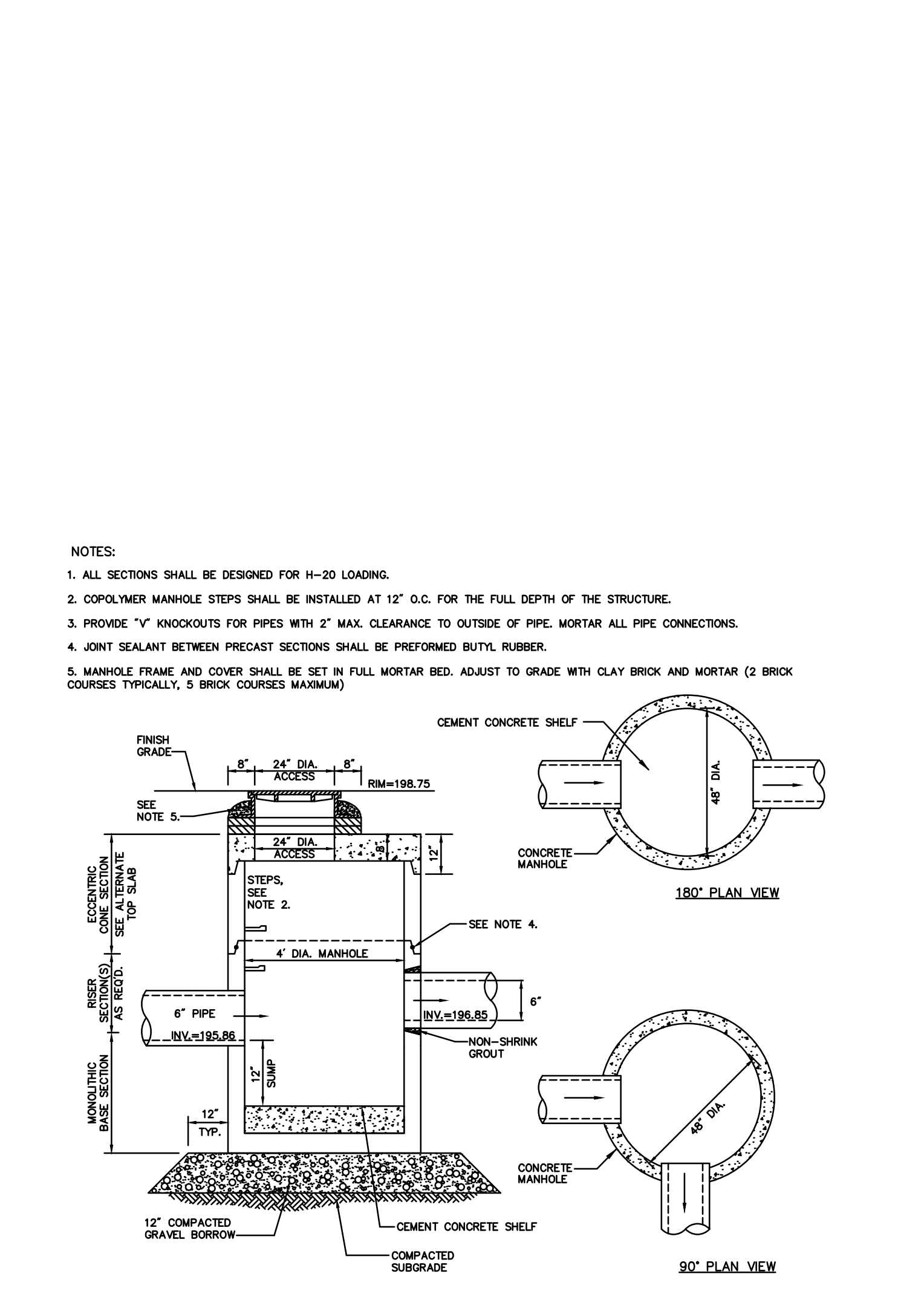
DETAIL # 101 DRAIN MANHOLE (DMH) JDE



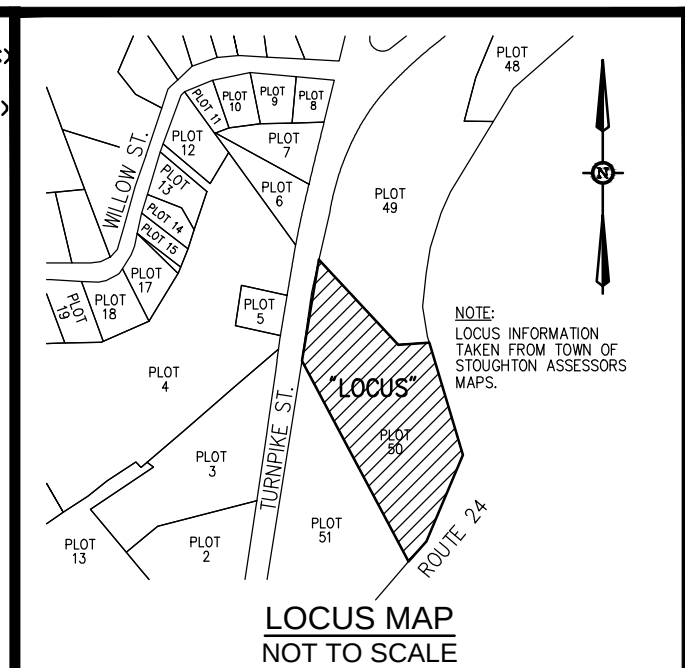
DETAIL # 172 ROOF DRAIN JDE



DETAIL # 175 OUTLET STRUCTURE (DMH-2) JDE



DETAIL # 175 OUTLET STRUCTURE (DMH-2) JDE



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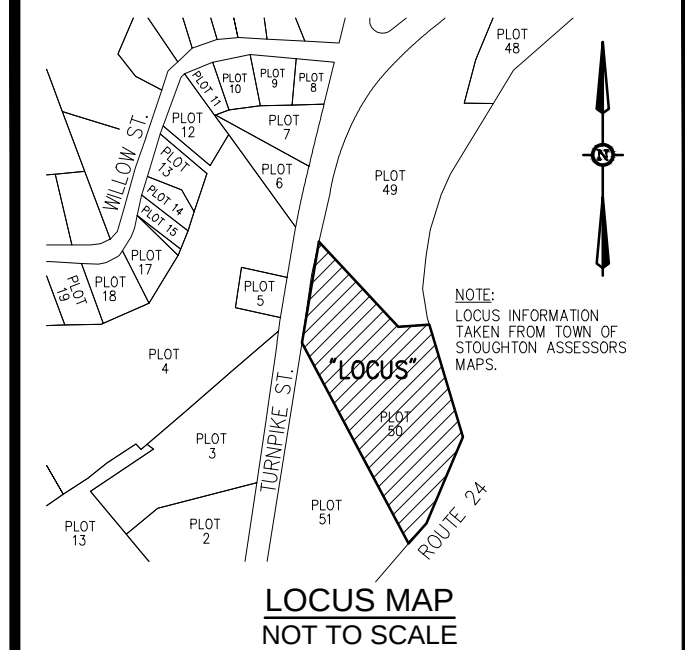
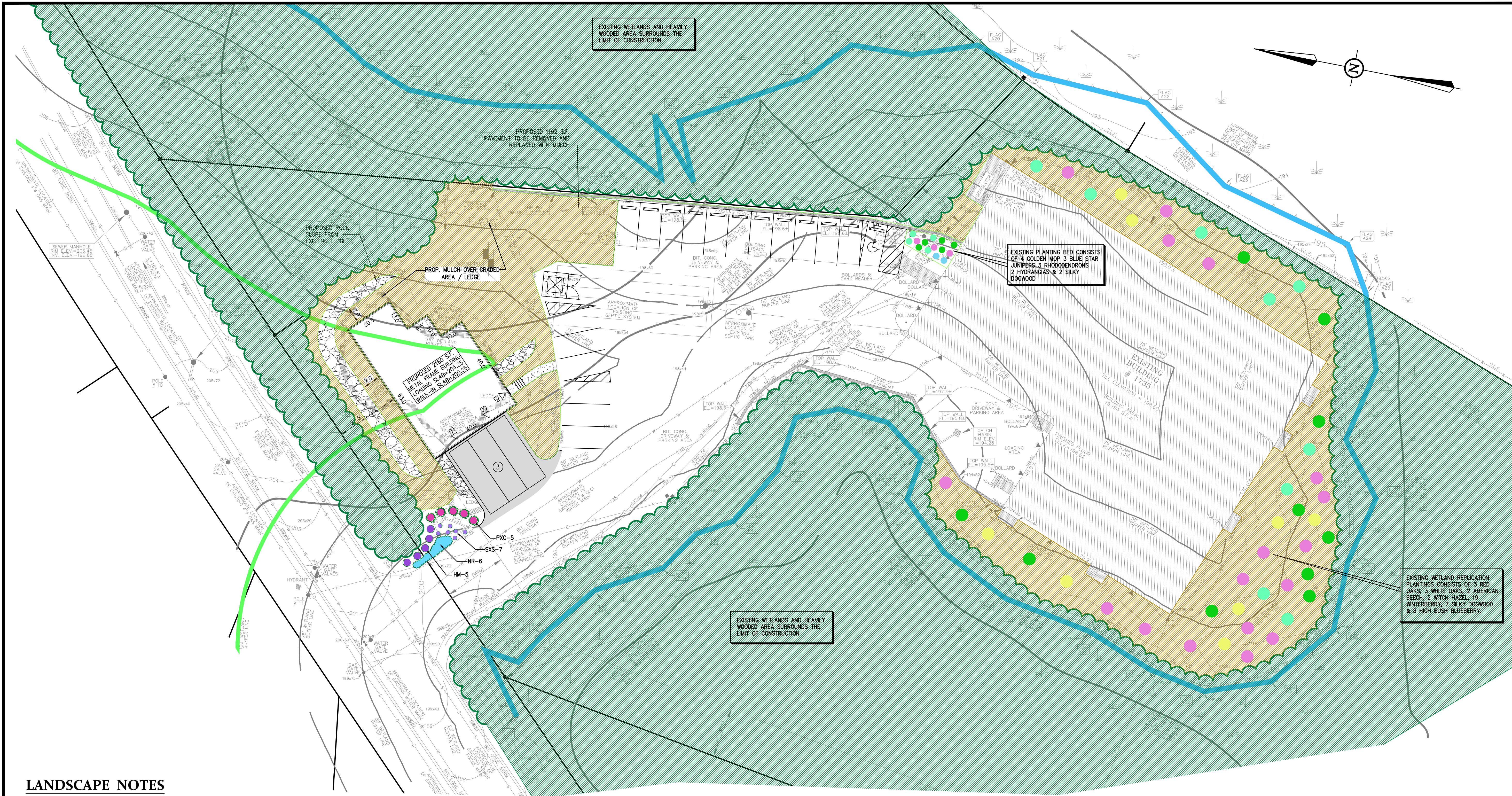
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6	12/07/2021	ADD PB DECISION

DRAWN BY: TME / JVW
CHECKED BY: EPJ
DESIGNED BY: TME / JVW / GWD

LANDSCAPING PLAN

1735 TURNPIKE STREET
IN
STOUGHTON
(NORFOLK COUNTY)
MASSACHUSETTS

JANUARY 20, 2021

PREPARED FOR:
PEACOCK REALTY, LLC
P.O. BOX 170842
BOSTON
MASSACHUSETTS
02117



LANDSCAPE NOTES

- FURNISH AND INSTALL ALL PLANTS SHOWN ON THE DRAWINGS SPECIFIED HEREIN, AND IN THE QUANTITIES LISTED ON THE PLANT LIST, NO SUBSTITUTIONS WILL BE PERMITTED, UNLESS APPROVED BY THE ENGINEER.
- LOAM TO BE GOOD QUALITY, FERTILE, FREE OF WEEDS, STICKS, STONES OVER 3/4", AND ROOTS. SPREAD TO A MINIMUM OF 6" OVER ALL PLANTED AREAS.
- NURSERY STOCK SHALL MEET THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN AS TO GRADING AND QUALITY.
- ONLY NURSERY-GROWN PLANTS, GROWN IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES AND GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST (2) YEARS, WILL BE ACCEPTED.
- SET PLANTS PLUMB AND AT A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG. SETTLE BACKFILL MATERIAL FOR PLANTS, THOROUGHLY AND PROPERLY BY FIRING OR TAMPING FORM SAUCERS CAPABLE OF HOLDING WATER ABOUT INDIVIDUAL PLANTS, BY PLACING RIDGES OF PLANTING SOIL AROUND EACH.
- STAKE ALL TREES OVER 5' AS SHOWN ON PLANS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
- WATERING: WATER ALL PLANTS WITHIN 48 HOURS AFTER PLANTING IF CONDITIONS WARRANT, AND AS MANY TIMES THEREAFTER TO SUSTAIN HEALTHY CONDITIONS, SATURATE THE SOIL AROUND EACH PLANT THOROUGHLY AT EACH WATERING.
- PRUNING: PRUNE PLANTS, AS DIRECTED BY THE OWNER, AT THE PROJECT SITE BEFORE OR IMMEDIATELY AFTER PLANTING IN ACCORDANCE WITH THE BEST HORTICULTURAL PRACTICE. CUT BROKEN, DEAD OR INJURED BRANCHES FLUSH WITH THE TRUNK OR THE LIMB. PRUNE ALL BROKEN ROOTS ON THE PLANT SIDE OF THE BREAK. PAINT CUTS OVER 3/4" IN DIAMETER WITH TREE WOUND PAINT. PRUNING SHALL NOT DEFORM OR OTHERWISE DESTROY THE TYPICAL SHAPE OR SYMMETRY OF THE PLANT AND SHALL NOT REDUCE THE HEIGHT BY MORE THAN ONE-THIRD. DO NOT CUT BACK THE LEADER OF THE PLANT UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.

- FERTILIZING: FERTILIZE SHRUB BEDS WITH 10-6-4 FERTILIZER AT A RATE OF THREE POUNDS PER 100 SQUARE FEET OF SURFACE AREA. BROADCAST, APPLY THE FERTILIZER UNIFORMLY TO THE SURFACE BEDS AND WORK INTO THE UPPER TWO INCHES OF SOIL. FERTILIZE INDIVIDUAL TREES AT THE RATE OF ONE AGRIFORM PELLET PER INCH OF TRUNK DIAMETER (FOLLOW MANUFACTURER'S WRITTEN INSTRUCTIONS). APPLY A SECOND APPLICATION OF FERTILIZER TO ALL PLANT ITEMS AT THE SAME SPECIFIED RATES OVER THE MULCH AT THE END OF AN EIGHT WEEK PERIOD.
- MULCHING: COVER ALL PLANTED AREAS WITH 3" HEMLOCK BLEND MULCH, NO SUBSTITUTIONS, WITHIN A SEVENTY TWO (72) HOUR PERIOD AFTER PLANTING. ALL MULCHED BEDS TO HAVE WEED BARRIER FABRIC INSTALLED. ALL COMMERCIAL FOUNDATION PLANTING BEDS WILL BE 8" PEA STONE OR ROCK MULCH PER STATE FIRE CODE.
- GUARANTEE: ALL PLANTS FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER PRELIMINARY INSPECTION AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. ALL DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED AT ONCE BY THE CONTRACTOR, FREE OF CHARGE.
- PLANTING NUMBERS AND SPECIES ARE SUBJECT TO CHANGE BASED ON AVAILABILITY AT THE TIME OF INSTALLATION. CONTRACTOR TO COORDINATE WITH LANDSCAPING SUPPLIER AND SUBMIT REVISED LIST TO LOCAL BUILDING DEPARTMENT.
- CONTRACTOR TO COORDINATE ALL TREE LOCATIONS WITH SUBSURFACE UTILITIES, ANY CONFLICTS FOUND WILL BE RESOLVED IN THE FIELD BY THE CONTRACTOR AND REPORTED TO THE ENGINEER OF RECORD. UTILITY LOCATIONS WILL TAKE PRECEDENCE OVER PROPOSED PLANTING LOCATIONS.
- ALL PLANTINGS AT DRIVE WAY ENTRANCES WILL BE MAINTAINED TO A HEIGHT OF 3' OR LESS AS TO NOT OBSCURE TRAFFIC VISIBILITY AND SITE DISTANCE.
- ANY SHRUB OR TREE NOT LABELED AS PROPOSED ARE EXISTING PLANTS ON SITE.

PLANT LEGEND											
TREES	KEY	DESCRIPTION		QTY.	SIZE	SHRUBS AND GROUND COVER					
	BN	RIVER BIRCH BETULA NIGRA		8+	20-30' TALL EXISTING		RN	COMMON RHODODENDRON RHODODENDRON (PINK)		3	30 INCHES EXISTING
		AS	MAPLE ACER SACCHARUM		25+			20-30' TALL EXISTING	VC	HIGH BRUSH BLUEBERRY VACUINIUM CORYNBOSUM	
	QR		COMMON OAK QUERCUS ROBUR		25+		20-50' TALL EXISTING	CA		SILKY DOGWOOD CORNUS AMOMUM	
		PS	EASTERN WHITE PINE PINUS STROBUS		5+		10-20' TALL EXISTING		CP	GOLDEN MOP CHAMAECYPARIS PISIFERA	
	AG		AMUR MAPLE ACER GINNALA		25+		20-30' TALL EXISTING	HM		HYDRANGEA HYDRANGEA MACROPHYLLA	
		QR	RED OAK TREE QUERCUS RUBRA		3		6' TALL EXISTING		JS	BLUE STAR JUNIPER JUNIPERUS SQUAMATA	
	TO		AMERICAN BEECH FAGUS GRANDIFOLIA		2		6' TALL EXISTING	IV		COMMON WINTERBERRY ILEX VERTICILLATA	
		AR	WHITE OAK TREE ALAB RUBRA		3		6' TALL EXISTING		HV	WITCH HAZEL HAMAMELIS VIRGINIANA	
	PXC		PURPLE SAND CHERRY PRUNUS X CISTENA	MATURE HEIGHT = 7'	5		30 INCHES PROPOSED	SXS		ENDLESS SUMMER HYDRANGEA HYD. MACROPHYLLA	
					NR	SALVIA SALVIA X SYLVESTRIS			MATURE HEIGHT = 2'	7	24 INCHES PROPOSED
							CATS MINT NEPETA RACEMOSA		MATURE HEIGHT = 2'	6	24 INCHES PROPOSED



MAPLE TREE
(ACER SACCHARUM)



RIVER BIRCH
(BETULA NIGRA)



AMUR MAPLE
(ACER GINNALA)



COMMON OAK TREE
(QUERCUS ROBUR)



EASTERN WHITE PINE
(PINUS STROBUS)



RHODODENDRON
(RHODODENDRON)



GOLDEN MOP
(CHAMAECYPARIS PISIFERA)



HYDRANGEA
(HYDRANGEA MACROPHYLLA)



BLUE STAR JUNIPER
(JUNIPERUS SQUAMATA)



WHITE SPIREA
(SPIRAEA NIPPONICA)



COMMON WINTERBERRY
(ILEX VERTICILLATA)



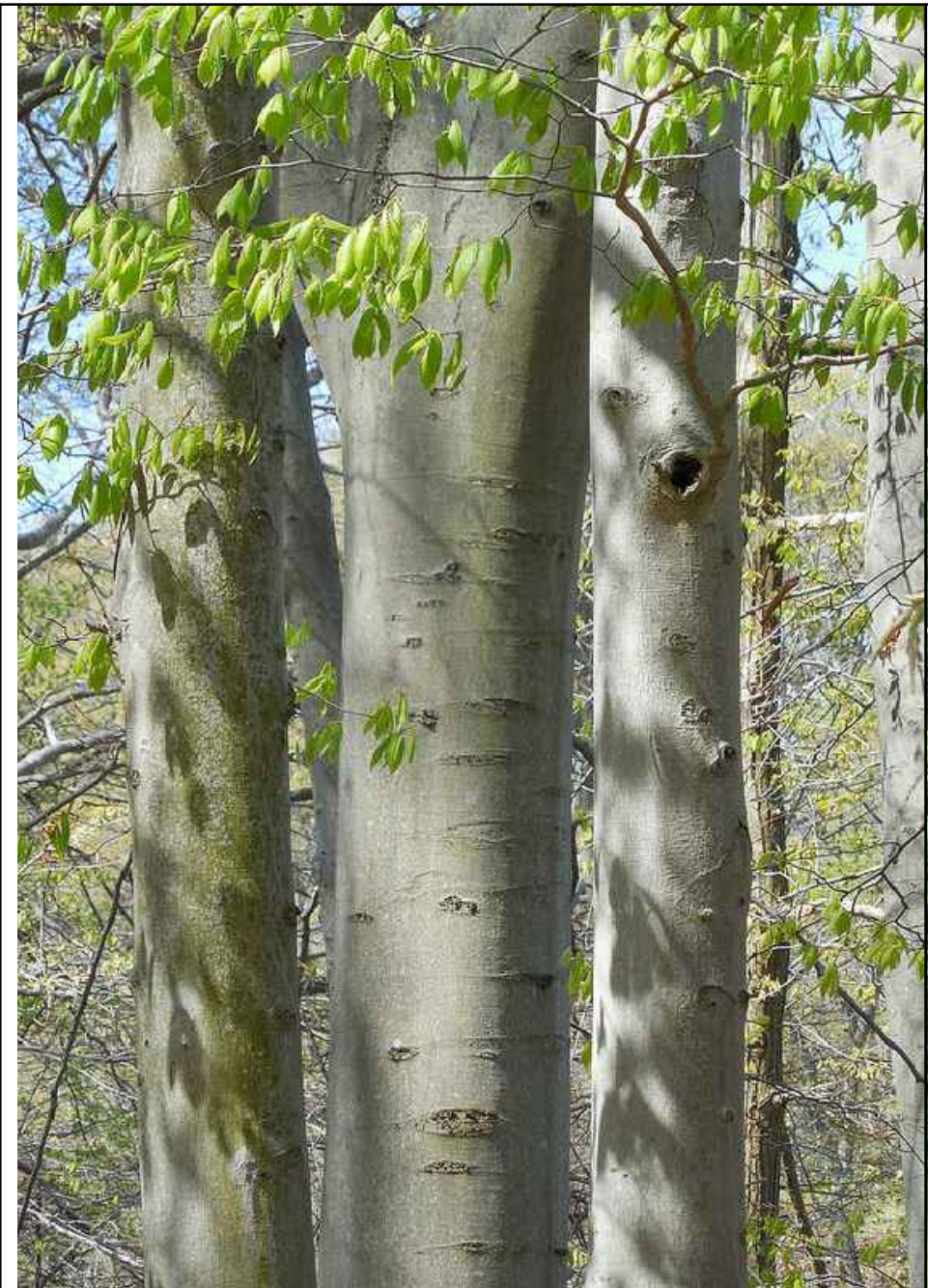
WITCH HAZEL
(HAMAMELIS VIRGINIANA)



SILKY DOGWOOD
(CORNUS AMOMUM)



HIGH BRUSH BLUEBERRY
(VACCINIUM CORYNOSUM)



AMERICAN BEECH TREE
(FAGUS GRANDIFOLIA)



RED OAK TREE
(QUERCUS RUBRA)



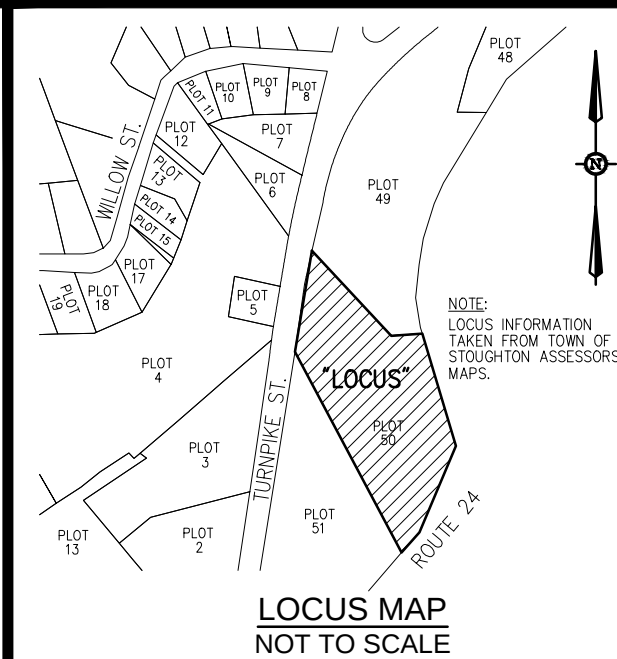
CATS MINT
(NEPETA RACEMOSA)



PURPLE SAND CHERRY
(PRUNUS X CISTENA)



SALVIA
(SALVIA X SYLVESTRIS)



LOCUS MAP
NOT TO SCALE

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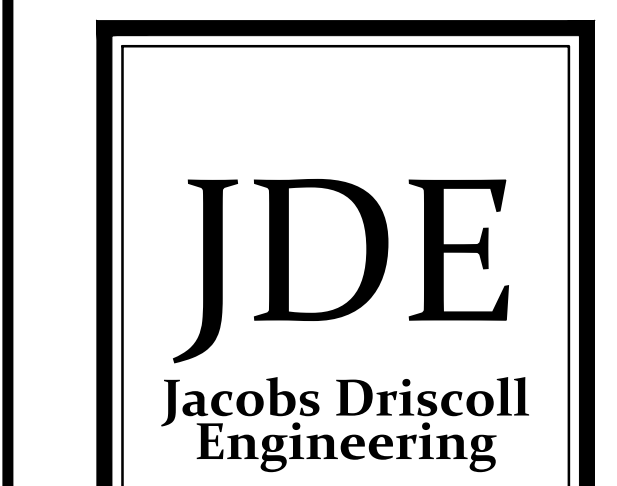
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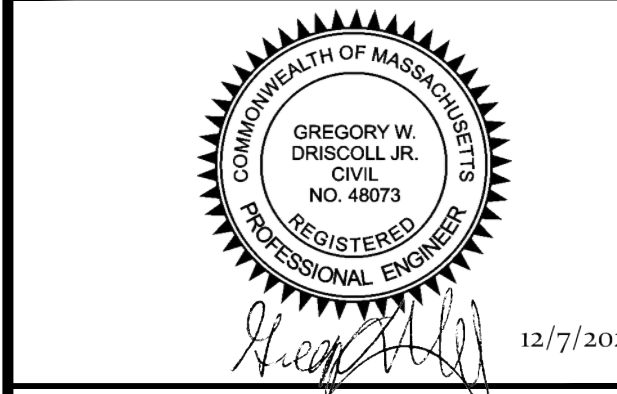
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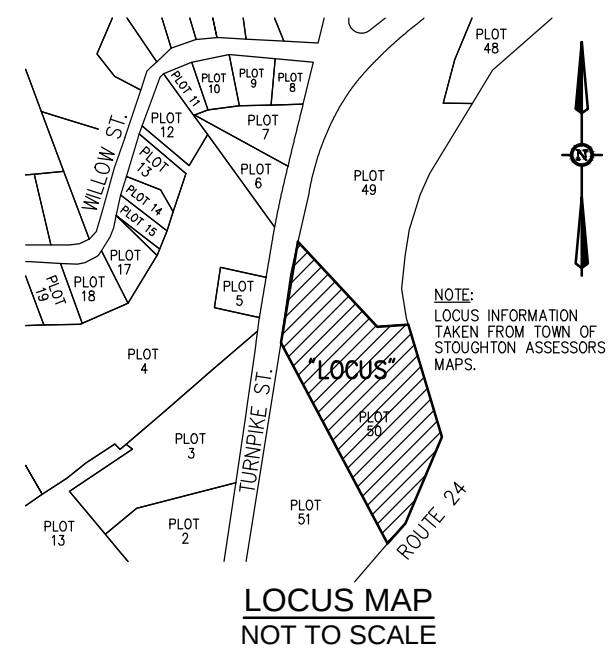


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North Easton, Massachusetts 02356
Phone: 508-928-4400
www.JacobsDriscoll.com



SHEET 9 OF 14

JOB NUMBER: 01-2020-035



PERMITTING SET

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RENDERING

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JANUARY 20, 2021

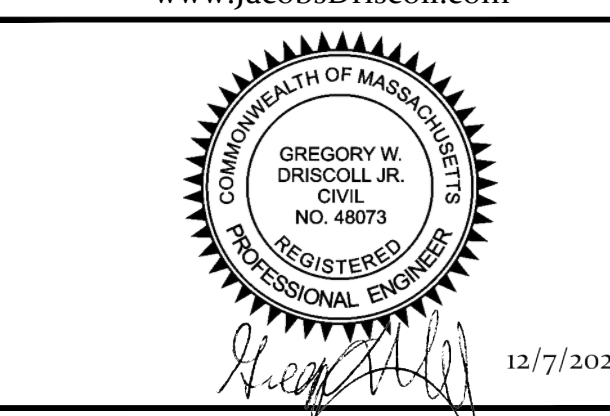
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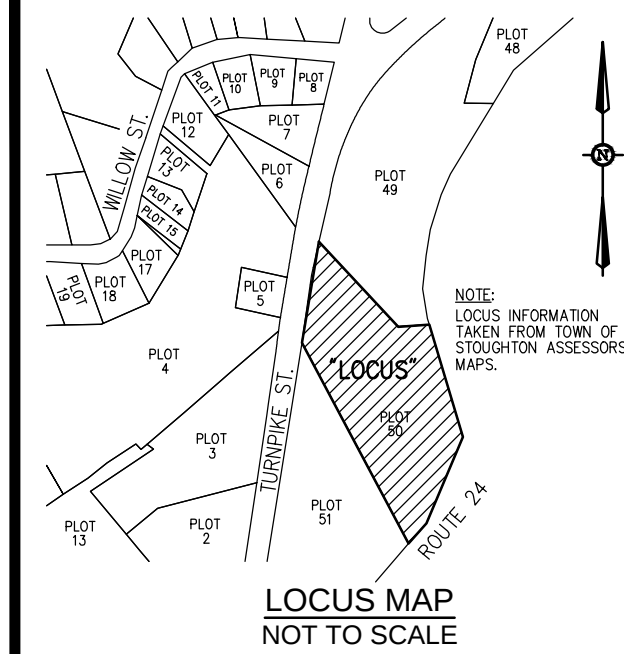
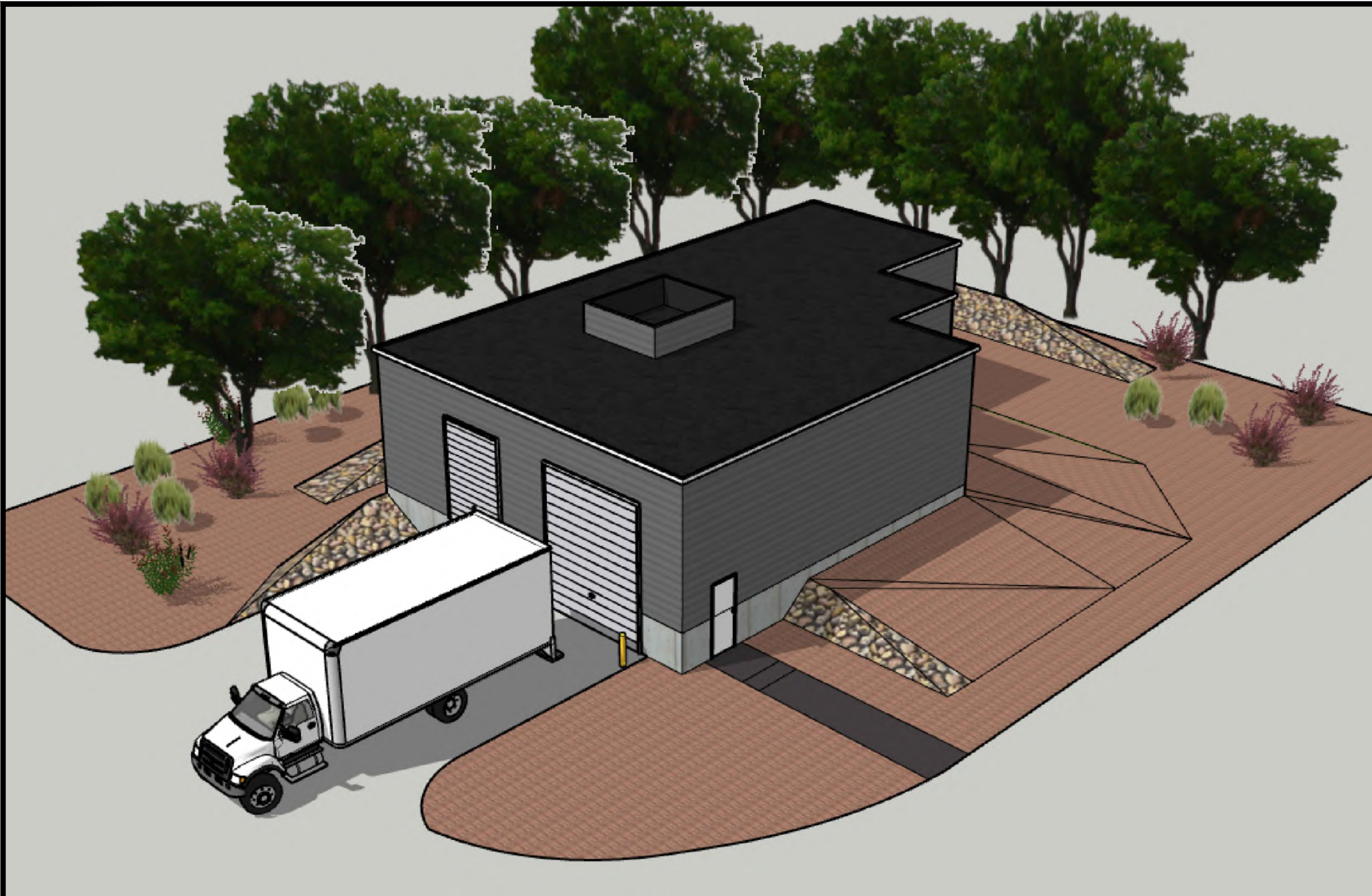
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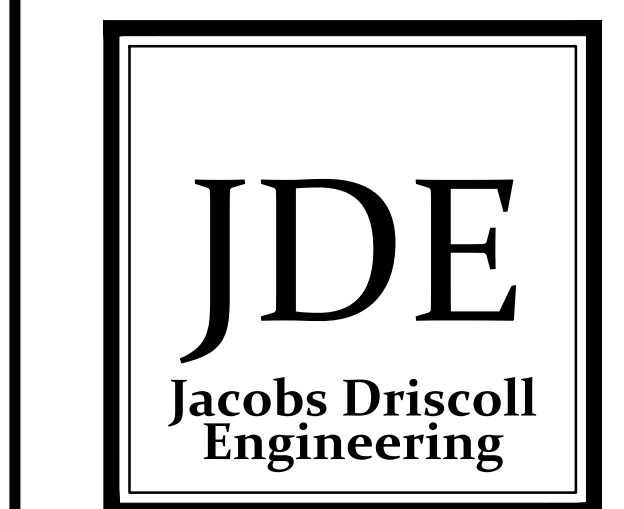
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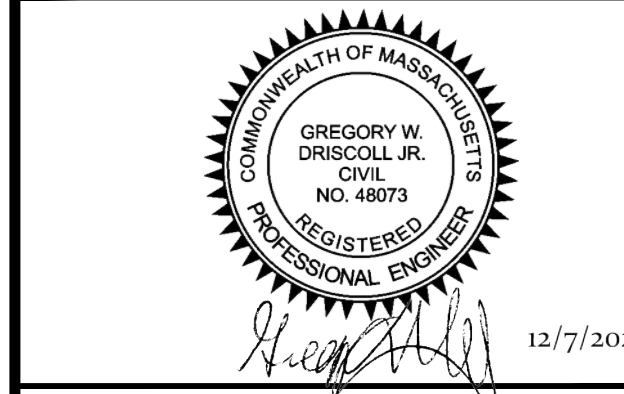
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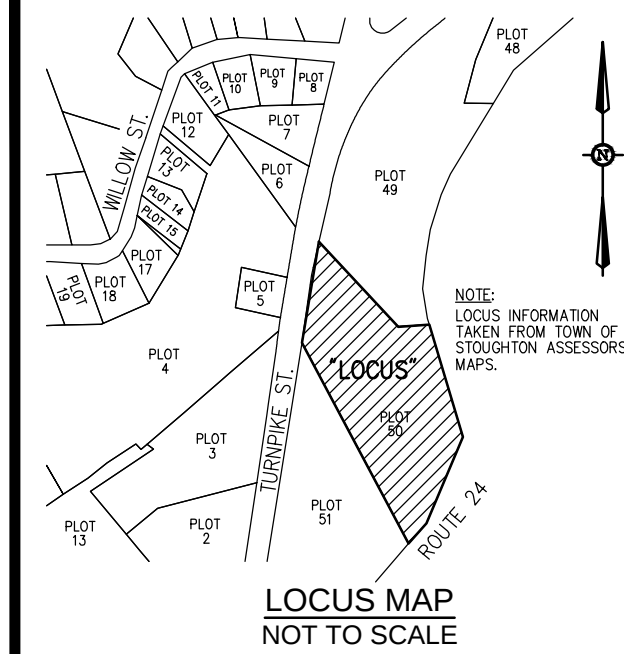
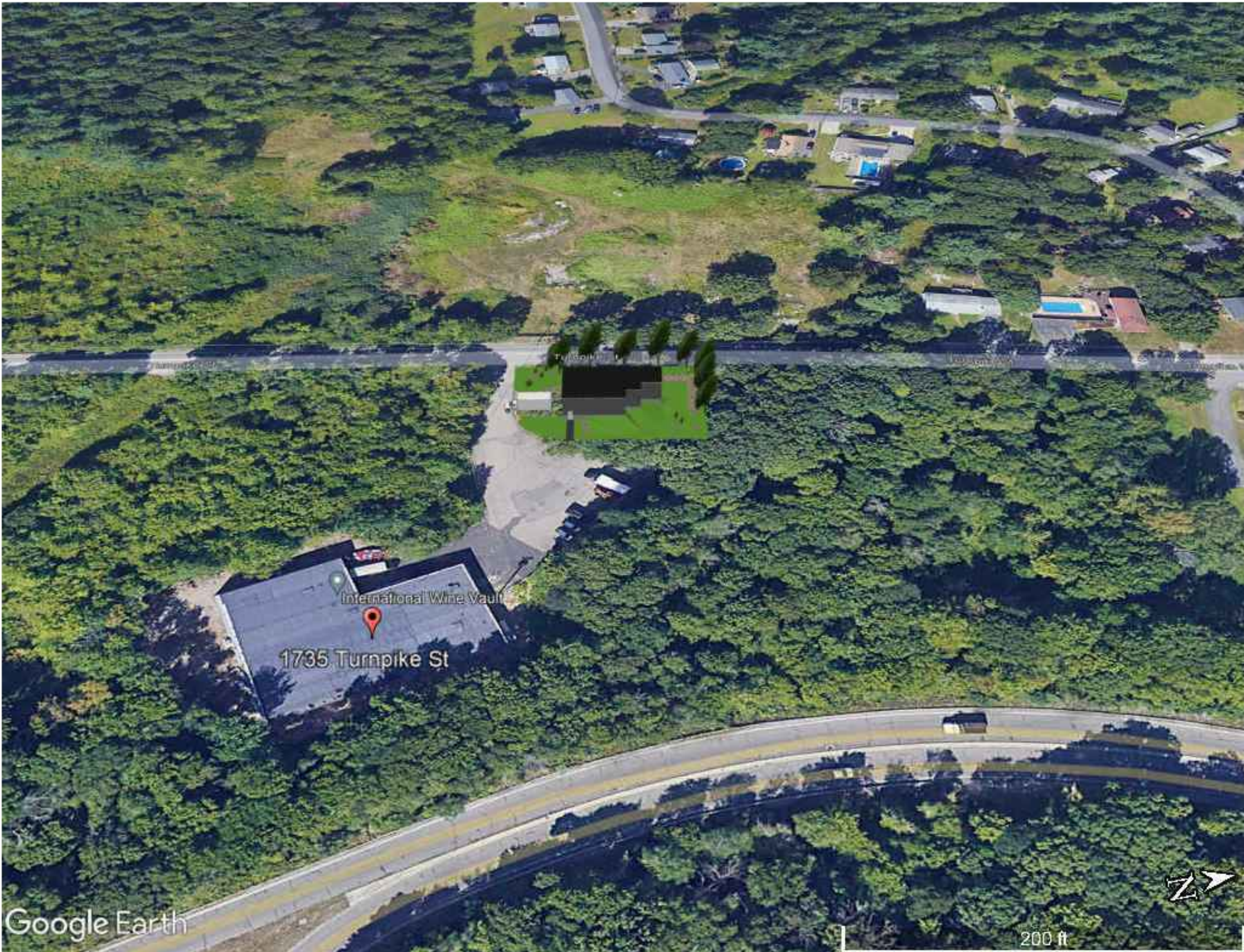
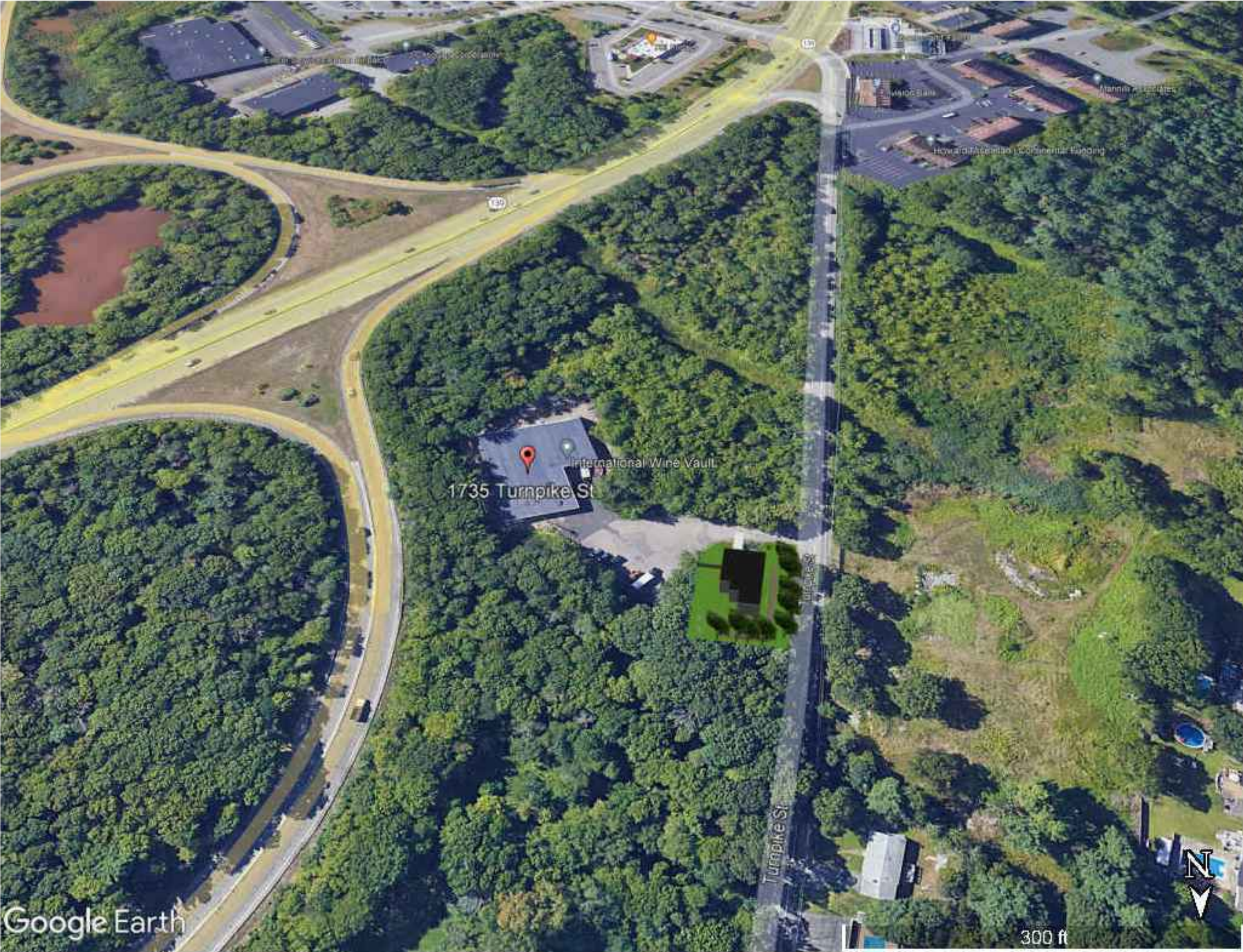


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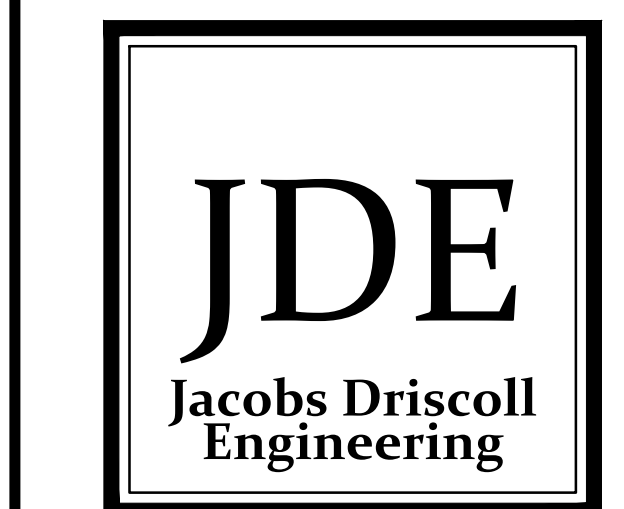
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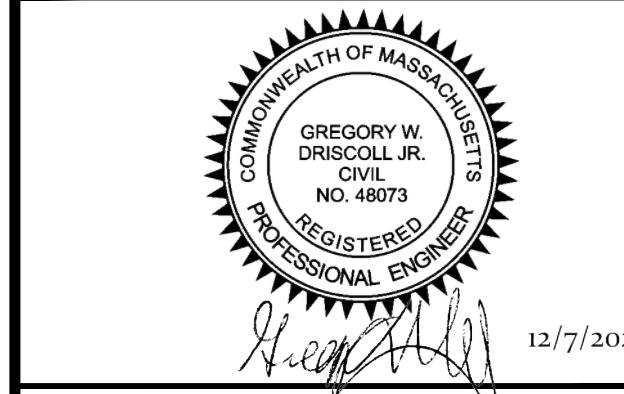
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TOWN OF STOUGHTON

Massachusetts
MA 02072

PLANNING BOARD

Site Plan Approval for
1735 Turnpike Street
Case SP # 21-005

Date: November 9, 2021

Applicant: Peacock Realty, LLC
P.O. Box 170835
Boston, MA 02129

Owner: Peacock Realty, LLC
P.O. Box 170835
Boston, MA 02129

Representatives: Jacobs Driscoll Engineering, Inc.
50 Oliver Street
Easton, MA 02356

Property: 1735 Turnpike Street (Assessor's Map 96, Lot 50)

I) Project Summary

The proposed project includes the construction of a 2,160 SF industrial warehouse building on a 3.36 acre site in the Industrial (I) and Neighborhood Business (NB) zoning districts. Pursuant to Section 10.6.2.1, the project requires Full Site Plan Review.

II) Procedural History

- Application for Site Plan Approval was made by the above referenced applicant and owners and filed with the Planning Board on June 10, 2021.
- The Site Plan submitted for review to the Planning Board is titled "Site Development Plans, Storage Building, 1735 Turnpike Street, Stoughton, Norfolk County, Massachusetts, 02072" prepared by Jacobs Driscoll Engineering, Inc., 50 Oliver Street, Easton, MA 02356 dated January 20, 2021 and revised through October 21, 2021.
- The land shown on the Site Plan is located off of Turnpike Street and shown on Assessor's Map 96, Lot 50 (the "Property") and is located in the Industrial (I) and Neighborhood Business (NB) zoning districts and consists of approximately 3.36 acres of lot area.

- Construction shall be performed by contractors licensed to perform such work in the Town of Stoughton.
- All required inspection fees shall be paid through the Engineering Department prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first in accordance with the fee schedule dated March 23, 2017.
- The cost of any necessary outside testing, inspection or other services required by any town department as part of the development process for the project shall be borne by the applicant and the timing of payment thereof shall be determined by the requesting source.
- Any required easements, licenses, permits or grants of usage required as part of the development process for the project shall be obtained by the applicant prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first.
- The Applicant shall submit final construction plans to the Engineering Department and the Public Works Department prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first.
- Required soil and erosion control measures shall be erected and serviceable prior to any site activity. For purposes of controlling erosion, all grades exposed for greater than a 30-day period shall be stabilized.
- The Applicant shall be responsible for ensuring that any trucks involved in hauling materials onto or off-site are properly covered and otherwise secured from spilling material along any street outside the site. Violation of this condition may lead to the discontinuation of construction activities and/or permits and fines.
- Wetting and stabilization of exposed grades shall occur as necessary to suppress dust generation. The use of municipal water for wetting of exposed grades and for other purposes associated with this approved operation shall require the prior written authorization of the Stoughton Public Works Department. Copies of said authorization must be filed by the Applicant with the Planning Board and the Building Commissioner prior to its use. Otherwise, the potable water shall be transported to the site from a lawful source outside of the Town of Stoughton or provided by private well.
- A Final As-Built Plan that is stamped and signed by the fully-licensed civil engineer shall be submitted to the Engineering Department and the Planning Department along with a letter that details any differences between the as-built plan and the approved plan prior to the issuance any certificate of occupancy.

B) Special Conditions

- During construction, the hours of operation shall be from 7:00 am until 6:00 pm Monday through Friday and 8:00 am until 5:00 pm on Saturday. No machinery shall be started or run prior to those start times. There shall be no construction activities on Sunday or any state or federal holiday.

- D) A public hearing on the Site Plan Application was held on September 9, 2021, October 14, 2021 and November 9, 2021.

II) Application Submittals

- The Site Plan submitted for review to the Planning Board is titled "Site Development Plans, Storage Building, 1735 Turnpike Street, Stoughton, Norfolk County, Massachusetts, 02072" prepared by Jacobs Driscoll Engineering, Inc., 50 Oliver Street, Easton, MA 02356 dated January 20, 2021 and revised through October 21, 2021.
- Drainage Calculations and Stormwater Management Plan prepared by Jacobs Driscoll Engineering, Inc. dated January 20, 2021 and revised through May 28, 2021.
- Development Impact Report prepared by Jacobs Driscoll Engineering, Inc. dated June 10, 2021.

III) Related Documents

- Site Operation & Maintenance Plan prepared by Jacobs Driscoll Engineering dated July 21, 2021.
- Copy of the Legal Public Hearing notice from the edition of the Journal-Sun dated August 25, 2021 and September 1, 2021.
- Certified List of Abutters dated June 10, 2021.
- Zoning review letter from Jack Erickson, Building Commissioner, dated June 10, 2021.
- Comment letter from John Charbonneau, Town Planner, dated June 15, 2021.
- Revised comment letter from John Charbonneau, Town Planner, dated July 27, 2021.
- Technical Review comment letter from Craig Horsfall, Assistant Town Engineer, dated August 4, 2021.
- Comment email from Larry Perry, Sanitarian, dated August 10, 2021.
- Comment letter from Sgt. James O'Connor of the Police Department dated August 10, 2021.
- Comment email from Captain James Rush of the Fire Department dated August 10, 2021.
- Order of Conditions from the Conservation Commission dated August 23, 2021.
- Comment letter from James Conlon, Conservation Agent dated September 6, 2021.
- Comment letter from Jack Erickson, Building Commissioner, dated September 10, 2021.

IV) Findings

- The Planning Board finds that the applicant has submitted the required information for determination of approval of the Site Plan.
- The Planning Board finds that the proposed use will not be detrimental to this district or the surrounding neighborhood and will not create noise, dust, odor or visual impacts that will have a negative effect.
- After careful review of this project by the Board of Health, Building Department, Fire Department, Police Department, Conservation Commission, Department of Public Works and the Engineering Department, the Planning Board analyzed all the comments and reports received. There were several productive in-house meetings with the Applicant in conjunction with extensive professional technical reviews completed by the Engineering Department throughout this process and provided due diligence on all aspects with a comprehensive approach to the impact of the development on the community.

4. The Planning Board, in granting the Applicant's request for a Site Plan Approval and Special Permits pursuant to the provisions of Section 10.6 "Site Plan Approval" found that the Applicant has met the conditions and the project will not result in any substantial detriment to the district.

V) Decision

A) General Conditions

- This decision for Site Plan Approval and Special Permit shall expire in two (2) years from the filing date of this decision unless substantial construction has commenced. The expiration of this decision may be extended, for good cause, upon timely written request by the applicant at the discretion of the Planning Board.
- Prior to commencement of construction, a revised full set of approved plans and calculations, showing any required changes to the Site Plan required by this decision shall be submitted to the Planning Board for its records. The Planning Board decision shall be scanned onto and incorporated into the approved Site Plan/Special Permit plan set on the last page of the plan and shall be submitted to the Planning Department.
- Electronic PDF copies of the approved plans shall be submitted to the Engineering Department and the Planning Department following endorsement and recording. The plans shall also be submitted to the Engineering Department in AutoCAD format.
- Any modification(s) affecting the approved site plan, this decision or any other action or condition approved under this decision shall be subject to the review and approval of the Planning Board prior to implementing said modification(s) on the ground. Minor modifications may not require an additional public hearing, which is at the discretion of the Planning Board.
- An additional sheet shall be added to the site plan set that contains a scanned copy of the endorsed decision from the Planning Board.
- The Applicant is responsible for the filing of this decision with the Registry of Deeds.
- The Applicant shall hold a pre-construction meeting with the Engineering Department to coordinate the necessary inspections.
- All applicable Zoning Bylaw requirements of the Town of Stoughton shall be satisfied.
- The project shall be constructed in accordance with any approvals issued relative to this project from all applicable town boards, departments and commissions, who shall retain their respective authorities and oversight of such permits, approval and decisions.
- The project shall be constructed in compliance with the Order of Conditions issued by the Conservation Commission DEP # 298-842 and dated August 23, 2021.
- No site activity shall take place at the property under the Site Plan and Special Permit without proper authorization and permitting from all local and state agencies, as required.

VI) Record of Vote

The following members of the Planning Board constituting a majority, hereby vote to approve the Site Plan based on the above stated facts, findings and conditions. They further voted to authorize the Chair to endorse the decision on their behalf.

On this day of November 9, 2021,

Joseph Scardino, Chairman

Daniel Kelly, Vice Chairman

Paul Demusz

Jonathan Garland

Senesie Kabba

Cec. Town Clerk:

Applicant:

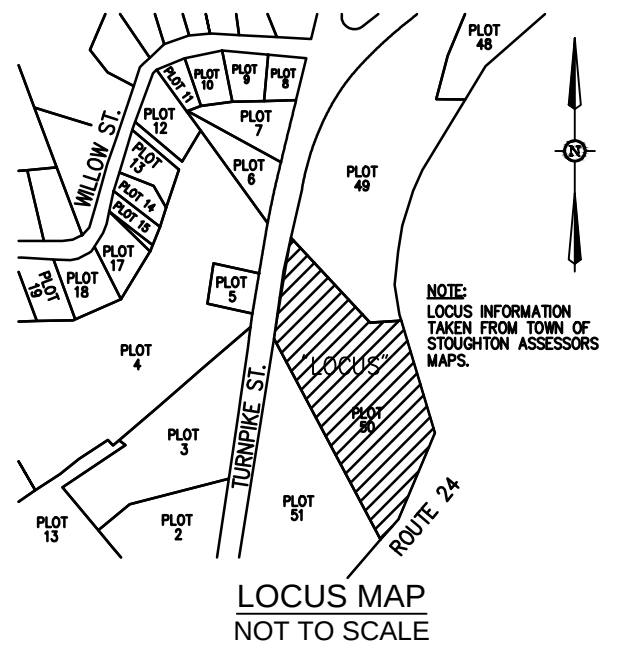
Interested Parties:

CERTIFICATION:

The Planning Board certifies that a copy of this decision has been filed with the Town Clerk of the Town of Stoughton on November 15, 2021.

FOR THE PLANNING BOARD

Joseph Scardino, Chairman



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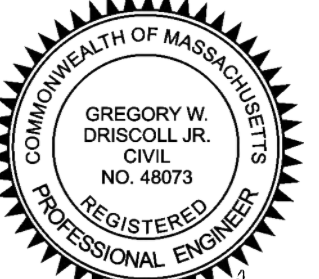
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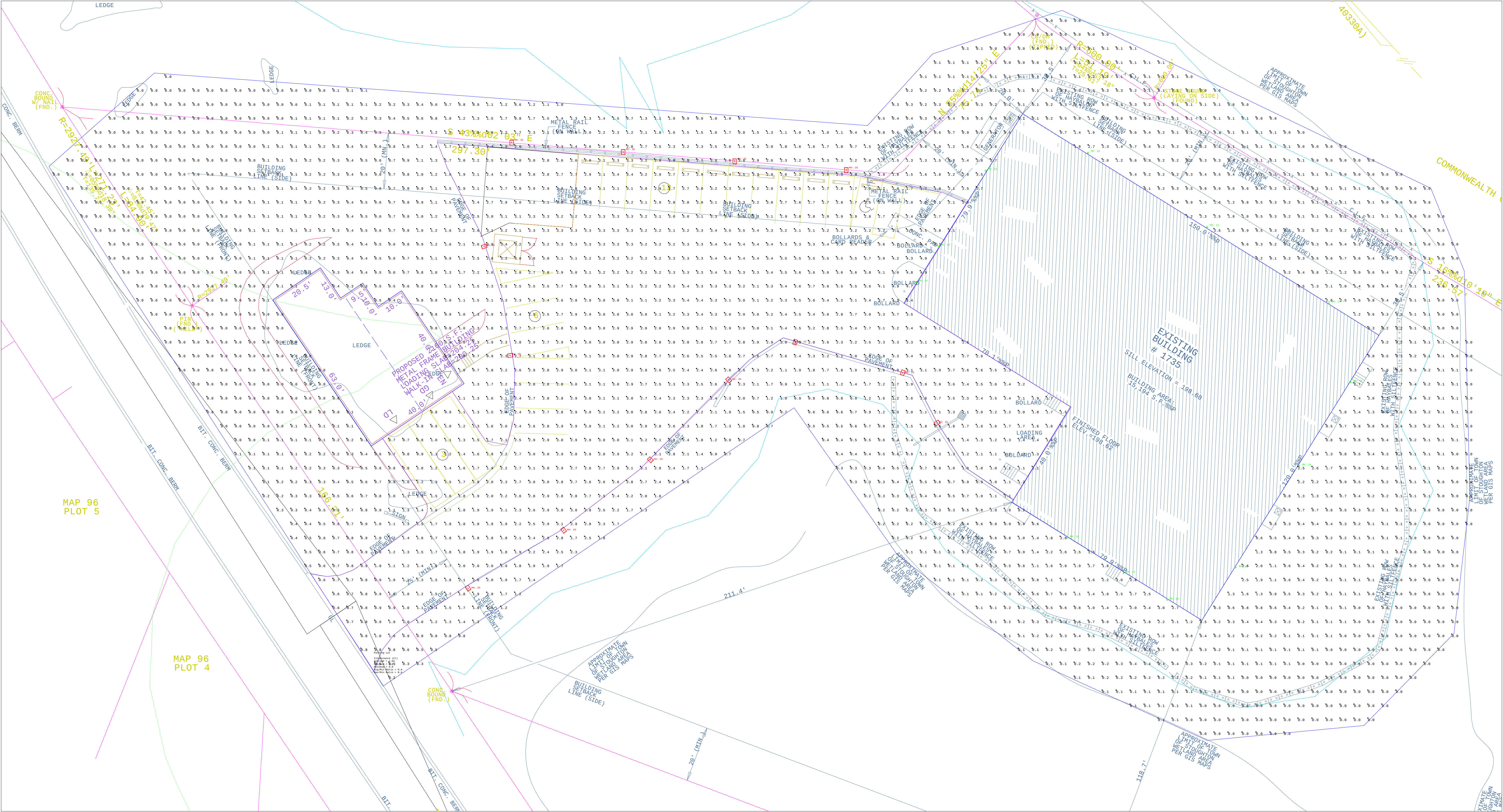
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12/7/2021

SHEET 13 OF 14

JOB NUMBER: 01-2020-035



Luminaire Schedule

Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
	13	GALN-SA1D-730-U-T4W	SINGLE	N.A.	0.900	GALN-SA1D-730-U-T4W
	12	RAB	SINGLE	N.A.	0.900	WPLED10Y (WALLPACK) - ALED10Y (AREA LIGHTER) - BLE

Calculation Summary

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Fc	1.17	5.0	0.0	N.A.	N.A.
Parking Lot	Fc	2.64	5.0	0.0	N.A.	N.A.

Drawn By:	XXXXXXX
Checked By:	
Date:	XX/XX
Specifier:	
Scale:	N.T.S.

Comments	XXXXXXXXXX
Date	XX/XX
#	X
Revisions	