

CAPEN REYNOLDS FARM

PERMITTING PLANS

760 PLEASANT STREET STOUGHTON, MASSACHUSETTS

DESCRIPTION

COVER SHEET

NOTES & LEGEND

DEMOLITION & EROSION CONTROL PLAN

LAYOUT PLAN

GRADING & DRAINAGE PLAN

UTILITY PLAN

CONSTRUCTION DETAILS

CONSTRUCTION DETAILS

LANDSCAPING DETAILS

SIGNATURE PAGE

REFERENCE PLANS

LANDSCAPE ARCHITECTURE PLANS

EXISTING CONDITIONS PLAN

SHEET

1

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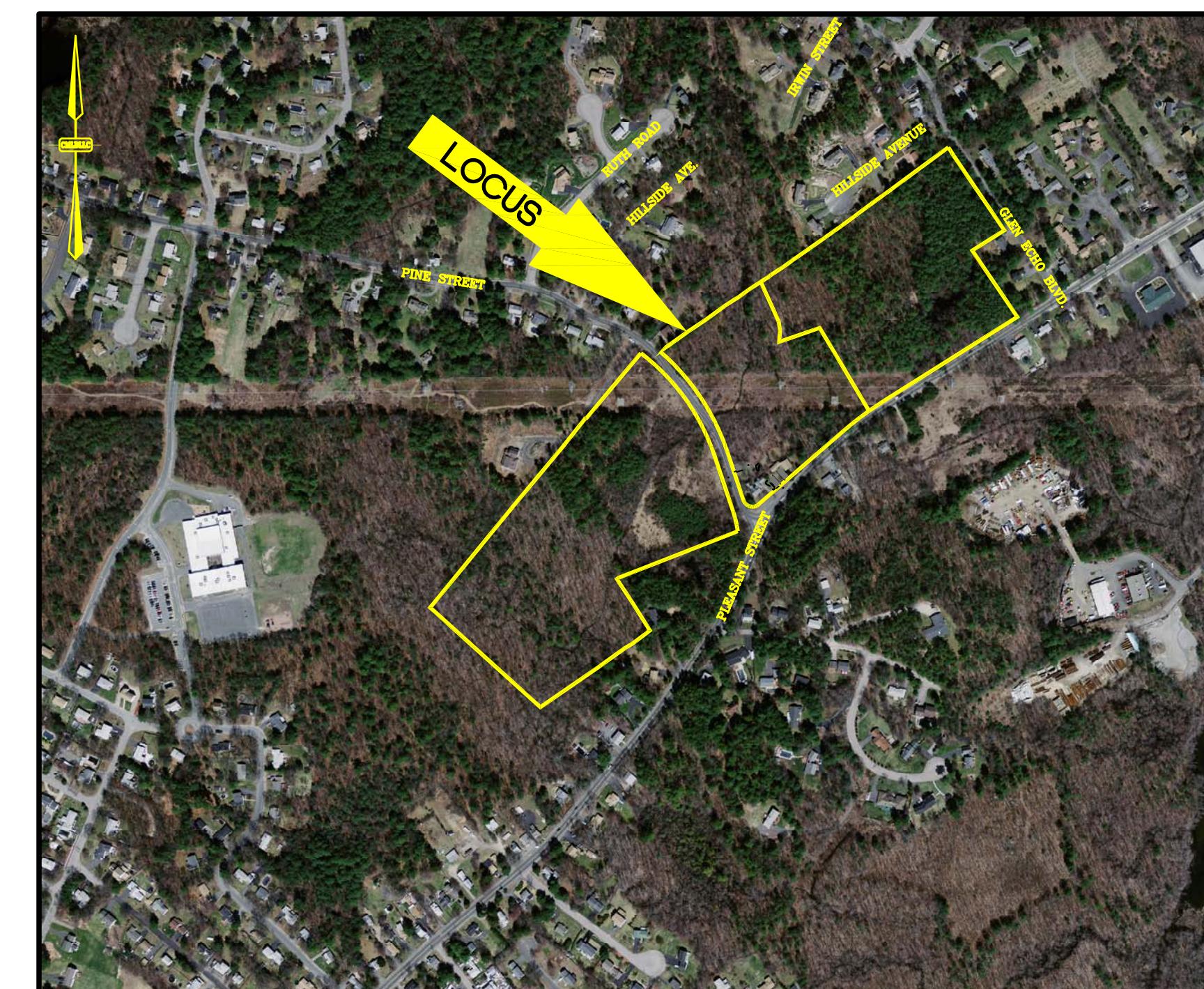
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9

10

A1-A2

R1



MASS GIS AERIAL PHOTO

SCALE: 1' = 500'

WAIVERS REQUESTED:

STOUGHTON ZONING BY-LAW, SECTION 10.0, ADMINISTRATION AND PROCEDURES, 10.6, SITE PLAN APPROVAL:

6.1.6 TABLE OF OFF-STREET PARKING REQUIREMENTS – USE NUMBER 14, APPLICANT REQUESTS REDUCTION IN REQUIRED NUMBER OF PARKING SPACES.

10.6.9(18) LOCATION FOR ALL PROPOSED SIGHT LIGHTING AND CONSTRUCTION DETAILS. ALSO, A PHOTOMETRIC PLAN SHALL BE INCLUDED THAT SHOW THE INTENSITY OF LIGHTING THROUGHOUT THE SITE AND ONTO ADJACENT PROPERTIES AND ANY ROADWAY(S).

10.6.9(19) LOCATION, SPECIFICATIONS AND CONSTRUCTION DETAILS FOR ALL SITE SIGNAGE TO INCLUDE ON-SITE DIRECTIONAL SIGNAGE.

10.6.9(20) ...COLOR RENDERINGS ARE ALSO REQUIRED.

10.6.10 DEVELOPMENT IMPACT REPORT (DIR) – A DEVELOPMENT IMPACT REPORT WILL BE REQUIRED FOR ALL PROJECTS. THE PLANNING BOARD MAY WAIVE IN PART, OR IN WHOLE, ANY REQUIREMENTS CONTAINED IN THE DIR WHICH IT DEEMS INAPPLICABLE TO THE PROJECT PROPOSAL AND SHALL CONTAIN THE FOLLOWING ELEMENTS:...

10.6.11 STORMWATER MANAGEMENT PLAN AND REPORT – THE CONTENTS OF THE STORMWATER MANAGEMENT PLAN SHALL CONTAIN SUFFICIENT INFORMATION FOR THE ENGINEERING DEPARTMENT TO EVALUATE THE HYDROLOGICAL AND HYDROLOGIC-DEPENDENT CHARACTERISTICS OF THE LAND TO BE DEVELOPED, THE POTENTIAL AND PREDICTED IMPACTS OF LAND DEVELOPMENT ON THE LOCAL HYDROLOGY, AND THE EFFECTIVENESS AND ACCEPTABILITY OF ALL MEASURES PROPOSED BY THE APPLICANT FOR REDUCING ADVERSE IMPACTS. SUMMARY DATA SHALL BE PROVIDED IN TERMS UNDERSTANDABLE TO THE PLANNING BOARD AND THE GENERAL PUBLIC. THE STORMWATER MANAGEMENT DESIGN SHALL BE PREPARED IN COMPLIANCE WITH THE STORMWATER STANDARDS OF THE LATEST EDITION OF THE STORMWATER MANAGEMENT REGULATIONS AND THE STORMWATER HANDBOOK OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION. ADDITIONALLY, THE PROJECT SHALL COMPLY WITH THE ENVIRONMENTAL PROTECTION AGENCY'S MOST CURRENT NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) MS4 PERMIT REQUIREMENTS AND ANY LOCAL STORMWATER REQUIREMENTS. THE FOLLOWING PLANS AND DOCUMENTS SHALL BE SUBMITTED FOR REVIEW....

STOUGHTON PLANNING BOARD RULES & REGULATIONS GOVERNING FEES AND FEE SCHEDULES
SECTION 3, APPLICATION FEES, TABLE 3.1: APPLICATION FEES, SITE PLAN REVIEW, \$500 PLUS \$.10/SQUARE FOOT OF GROSS BUILDING AREA AS DETERMINED BY ZONING BY-LAW

PREPARED FOR

THE CAPEN REYNOLDS FARM
USE & DEVELOPMENT COMMITTEE
10 PEARL STREET
STOUGHTON, MASSACHUSETTS 02072

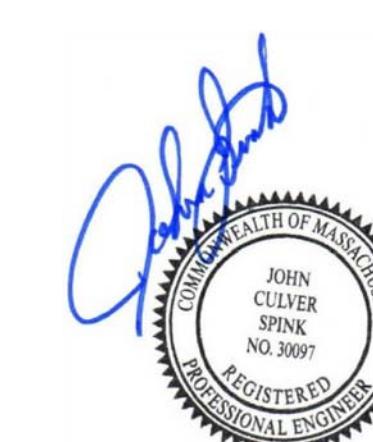
PREPARED BY



Center Mount
Land Development, LLC

33 COMMERCIAL STREET
RAYNHAM, MASSACHUSETTS 02767
WEBSITE: www.centermountllc.com

PREPARED ON:
OCTOBER 29, 2020



JOHN C. SPINK, P.E.
CENTER MOUNT LAND DEVELOPMENT, LLC
MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER #30097

CAPEN REYNOLDS FARM			
760 PLEASANT STREET, STOUGHTON, MASSACHUSETTS 02072			
R E V I S I O N S			
NO.	DATE	DESCRIPTION	DR/CK
1	4/1/21	REVS. PER TOWN PLANNER COMMENTS	SO/JS
2	6/1/21	REVS. PER PLANNING BOARD HEARING	SO/JS
3	6/17/21	REVS. PER PLANNING BOARD HEARING	SO/JS
4	7/15/21	REVS. PER PLANNING BOARD HEARING	SO/JS

LEGEND			ABBREVIATIONS		NOTES	
EXISTING	PROPOSED	DESCRIPTION	ABBREV.	DESCRIPTION		
		PROPERTY LINE	B	BORING	GENERAL:	
		PROPERTY LINE ABUTTER	BB	BITUMINOUS BERM	1. THE CONTRACTOR SHALL NOTIFY "DIGSAFE" (1-888-DIGSAFE) AT LEAST 72 HOURS (3 BUSINESS DAYS) BEFORE EXCAVATING.	
	50	MAJOR GROUND CONTOUR	BIT.	BITUMINOUS	2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.	
	49	MINOR GROUND CONTOUR	BIT. CONC.	BITUMINOUS CONCRETE	3. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS.	
		EDGE OF PAVEMENT	BLDG.	BUILDING	4. SITE SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.	
		CURB	BM	BENCH MARK	5. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.	
		BUILDING	CB	CATCH BASIN	6. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER OR OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.	
		DRAINAGE LINE	CBDH	CONCRETE BOUND DRILL HOLE	7. BUILDING HEIGHTS SHALL CONFORM TO LATEST ARCHITECTURAL DESIGN PLANS, BUT SHALL NOT EXCEED FIFTY (50) FEET.	
		GUARD RAIL	CC	CONCRETE CURB	8. THE FACILITY'S HOURS OF OPERATION WILL BE SUNDAY THROUGH THURSDAY 10:30 A.M. TO 11:00 P.M. AND FRIDAY AND SATURDAY 10:30 A.M. TO 12:00 A.M.	
		CHAIN LINK FENCE	CLF	CHAIN LINK FENCE	LAYOUT & MATERIALS:	
	G—G	GAS LINE	CO	CLEAN OUT	1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.	
	W—W	WATER LINE	CONC.	CONCRETE	2. CONCRETE BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.	
	S—S	SEWER LINE	CPD	CONCRETE PAD	3. OWNER OF RECORD ACCORDING TO ASSESSORS RECORDS: NAI ENTERTAINMENT HOLDINGS LLC BOOK 28139, PAGE 459 CERTIFICATE OF TITLE NO. 165286 REGISTERED LAND	
	OHW	OVERHEAD WIRE	CS	COATED STEEL	4. UNDERGROUND UTILITY LOCATION AS SHOWN HEREON ARE TAKEN FROM AVAILABLE RECORD AND FIELD INFORMATION AND ARE APPROXIMATE ONLY. BEFORE PLANNING ANY CONSTRUCTION, DIGSAFE AND THE VARIOUS UTILITY COMPANY ENGINEERING DEPARTMENTS SHOULD BE CONSULTED.	
	T—T	TELEPHONE	ELEV.	ELEVATION	5. VERTICAL DATUM: NAVD 88.	
	(S)	SEWER MANHOLE	ELEC.	ELECTRIC	6. THE PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 25021C0216E DATED JULY 17, 2012.	
	(D)	DRAIN MANHOLE	EM	ELECTRIC METER	7. TREE SYMBOLS ARE FOR GRAPHIC PURPOSES ONLY AND DO NOT REPRESENT ACTUAL CANOPY LINES.	
	(B)	CATCH BASIN	EOP	EDGE OF PAVEMENT	EXISTING CONDITIONS INFORMATION:	
	(T)	TELEPHONE MANHOLE	EXIST.	EXISTING	1. TOPOGRAPHIC INFORMATION AND EXISTING SITE FEATURES WERE OBTAINED FROM A FIELD SURVEY PERFORMED BY CONCECO ENGINEERS & SCIENTISTS BETWEEN JULY 26, 2017 AND AUGUST 28, 2017.	
	(B-1)	TEST BORING	FT	FOOT OR FEET	2. THE PROPERTY IS REFERENCED BY THE TOWN OF RANDOLPH ASSESSOR AS ASSESSOR'S MAP 57 LOT BLOCK D LOT 4.2.	
	(U)	UTILITY POLE	GG	GAS GATE	3. OWNER OF RECORD ACCORDING TO ASSESSORS RECORDS: NAI ENTERTAINMENT HOLDINGS LLC BOOK 28139, PAGE 459 CERTIFICATE OF TITLE NO. 165286 REGISTERED LAND	
	(L)	LIGHT POLE	GW	GROUND WATER	4. UNDERGROUND UTILITY LOCATION AS SHOWN HEREON ARE TAKEN FROM AVAILABLE RECORD AND FIELD INFORMATION AND ARE APPROXIMATE ONLY. BEFORE PLANNING ANY CONSTRUCTION, DIGSAFE AND THE VARIOUS UTILITY COMPANY ENGINEERING DEPARTMENTS SHOULD BE CONSULTED.	
	(B)	BOUND W/ DRILL HOLE	HDPE	HIGH DENSITY POLYETHYLENE	5. VERTICAL DATUM: NAVD 88.	
	(I)	IRON ROD	HP	HIGH PRESSURE	6. THE PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 25021C0216E DATED JULY 17, 2012.	
	(W)	WATER VALVE	HYD	HYDRANT	7. TREE SYMBOLS ARE FOR GRAPHIC PURPOSES ONLY AND DO NOT REPRESENT ACTUAL CANOPY LINES.	
	(G)	GAS VALVE	INV., I	INVERT	LANDSCAPING:	
	(H)	HYDRANT	IP	IRON PIPE	1. ALL AREAS CLEARED AND/OR DISTURBED SHALL BE BROUGHT TO WITHIN 4 INCHES OF FINAL GRADE AND FINISHED WITH 4 INCHES OF LOAM AND SEED EXCEPT WHERE OTHER FINISHES ARE PROPOSED (REFER TO PLANS).	
	(P)	PARKING SPACE COUNT	L	LENGTH		
	(H)	HAYBALE	LP	LIGHT POLE		
	(S)	SEWER CLEAN OUT	LS	LANDSCAPING		
	(S)	SIGN/BOLLARD	MAX	MAXIMUM		
	(S)	SIGN	MH	MANHOLE		
			MIN	MINIMUM		
			NAVD	NORTH AMERICAN VERTICAL DATUM NUMBER		
			NO	NOT TO SCALE		
			NTS	NOT ENCOUNTERED		
			N/E	NOW OR FORMERLY		
			N/F			
			OH	OVERHANG		
			OHW	OVERHEAD WIRE		
			PCC	PRECAST CONCRETE CURB		
			PERF	PERFORATED		
			PL	PROPERTY LINE		
			PVC	POLYVINYL CHLORIDE PIPE		
			R	RIM		
			(R)	RECORD		
			S	SLOPE		
			SBDH	STONE BOUND DRILL HOLE		
			SDWL	SINGLE DASHED WHITE LINE		
			SF	SQUARE FEET		
			SGC	SLOPED GRANITE CURB		
			SMH	SEWER MANHOLE		
			SWL	SINGLE WHITE LINE		
			TYP.	TYPICAL		
			UP	UTILITY POLE		
			WG/V	WATER GATE		

CONSTRUCTION SEQUENCE PLAN			ZONING TABLE		PARKING SUMMARY	
PRE-CONSTRUCTION ACTIVITIES			ZONE: (RC) RESIDENTIAL-SUBURBAN C USES: FARMHOUSE		REQUIRED	
<ul style="list-style-type: none"> PLACE EROSION CONTROL COMPOST FILTER SOCK AROUND PERIMETER OF CONSTRUCTION ZONE AND SECURE AS INDICATED ON EROSION CONTROL PLANS CLEAR TREES, BRUSH AND SHRUBS WITHIN CONSTRUCTION ZONE AND REMOVE ORGANIC SOIL LAYER WHERE REQUIRED; PROTECT TREES AS REQUIRED ON THE LAYOUT PLAN 			LOTS		REQUIRED	PROVIDED
PHASE 1: PARKING AREAS			MIN. AREA	40,000 S.F.	320,531 S.F.	
1.1 CONSTRUCT PARKING AREA AND REAR DRIVEWAY TO FINISHED GRADE			MIN. WIDTH	100 FT	359.46 FT	
1.2 INSTALL OFF-SITE CURBING ALONG PLEASANT STREET AND LOAM & SEED PREVIOUS GRAVEL AREAS			MIN. FRONTAGE	100 FT	1,258.30 FT	
1.3 RECONSTRUCT STONE WALLS AS REQUIRED			MIN. DEPTH	120 FT	670.25 FT	
PHASE 2: PUBLIC GARDENS			MIN. OPEN SPACE	50%	92.71%	
2.1 INSTALL WATER AND ELECTRICAL LINES AND TIE INTO EXISTING FARM HOUSE AS REQUIRED BY BUILDING DEPARTMENT			BUILDINGS			
2.2 CONSTRUCT ALL WALKWAYS AND STAIRCASE			MAX. BUILDING LOT COVERAGE	25%	1.22%	
2.3 INSTALL RAIN GARDENS AND DRAINAGE SWALE			MIN. FRONT YARD	35 FT	24.45 FT*	
2.4 CONSTRUCT PERGOLA AND ASSOCIATED PLANTING BEDS			MIN. SIDE YARD	15 FT	31.11 FT	
2.5 STABILIZE DISTURBED GROUND AND INSTALL LANDSCAPING			MIN. REAR YARD	40 FT	591.39 FT	
2.6 INSTALL TRASH AND RECYCLING FACILITIES			MAX. BUILDING HEIGHT	35' / 3 STORIES	2 STORIES	
Phase 3: DOG PARK			* PRE-EXISTING NON-COMFORMANCE			
3.1 INSTALL ALL FENCING ASSOCIATED WITH DOG PARK						
3.2 PROVIDE GROUND COVER FOR ENTIRE DOG PARK						
POST CONSTRUCTION ACTIVITIES - ALL PHASES						
<ul style="list-style-type: none"> REMOVE UNNEEDED EQUIPMENT FROM SITE AS PROJECT NEARS COMPLETION FINALIZE LANDSCAPING AND CLEAR UNUSED CONSTRUCTION MATERIAL FROM SITE REMOVE EROSION CONTROLS AND REPAIR ANY AREAS DAMAGED BY REMOVAL 						

NOTES			REVISIONS	
REVISIONS			NO.	DATE
REVISIONS			1	4/1/21
REVISIONS			2	6/1/21
REVISIONS			3	6/17/21



REVISIONS	DESCRIPTION	DR/C/K
REVISIONS	REVS. PER TOWN PLANNER COMMENTS	SO/J/S
REVISIONS	REVS. PER PLANNING BOARD HEARING	SO/J/S
REVISIONS	REVS. PER PLANNING BOARD HEARING	SO/J/S

REVISIONS	DESCRIPTION	DR/C/K
REVISIONS	CAPEN REYNOLDS FARM USE & DEVELOPMENT COMMITTEE 760 PLEASANT STREET STOUGHTON, MASSACHUSETTS 02072	NO. DATE
REVISIONS	CAPEN REYNOLDS FARM 760 PLEASANT STREET STOUGHTON, MASSACHUSETTS 02072	1 4/1/21
REVISIONS	CAPEN REYNOLDS FARM 760 PLEASANT STREET STOUGHTON, MASSACHUSETTS 02072	2 6/1/21
REVISIONS	CAPEN REYNOLDS FARM 760 PLEASANT STREET STOUGHTON, MASSACHUSETTS 02072	3 6/17/21

Center Mount Land Development, LLC

PERMITTING PLANS

PERMIT NO: 18124.0

DATE: 10/29/2020

DESIGNED: RTL CHECKED: SMO

DRAFTED: RTL IN CHARGE: JCS

SCALE: AS SHOWN

PROJECT NO.: 18124.0

SHEET NO.: 2

OF 10

Notes & Legend

Locus Map
Scale: 1" = 1000'

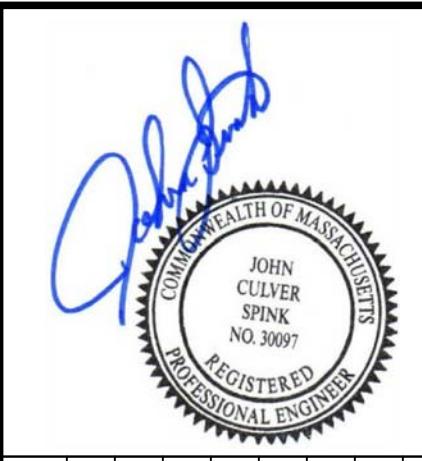
Site Development Tables
TOTAL SITE AREA: 320,531 S.F. (7.358 ACRES)

Zoning Table
ZONE: (RC) RESIDENTIAL-SUBURBAN C
USES: FARMHOUSE

LOTS	REQUIRED	PROVIDED
MIN. AREA	40,000 S.F.	320,531 S.F.
MIN. WIDTH	100 FT	359.46 FT
MIN. FRONTAGE	100 FT	1,258.30 FT
MIN. DEPTH	120 FT	670.25 FT
MIN. OPEN SPACE	50%	92.71%

Parking Summary

REQUIRED
COMMUNITY FACILITY TOWN BUILDING, RECREATION, ETC.
1 SPACE PER 400 S.F. GROSS FLOOR SPACE
4372 S.F. / 400 S.F. = 11 SPACES REQUIRED
PROPOSED PARKING SPACES DIMENSIONS: 9'x19'
10 STANDARD SPACES PROPOSED
1 HANDICAP SPACE PROPOSED
TOTAL PROPOSED SPACES = 11 (10 STANDARD, 1 HANDICAP)

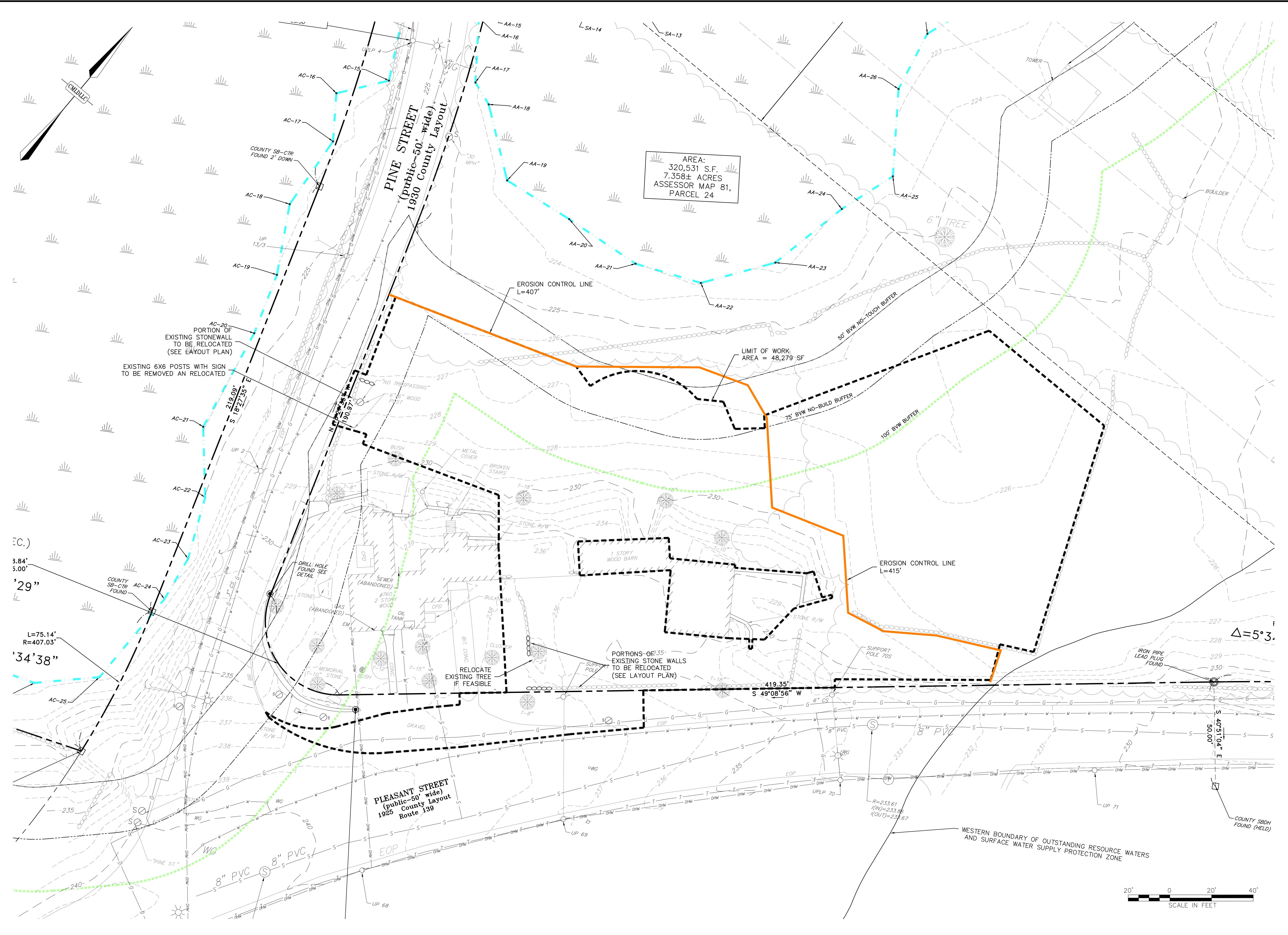


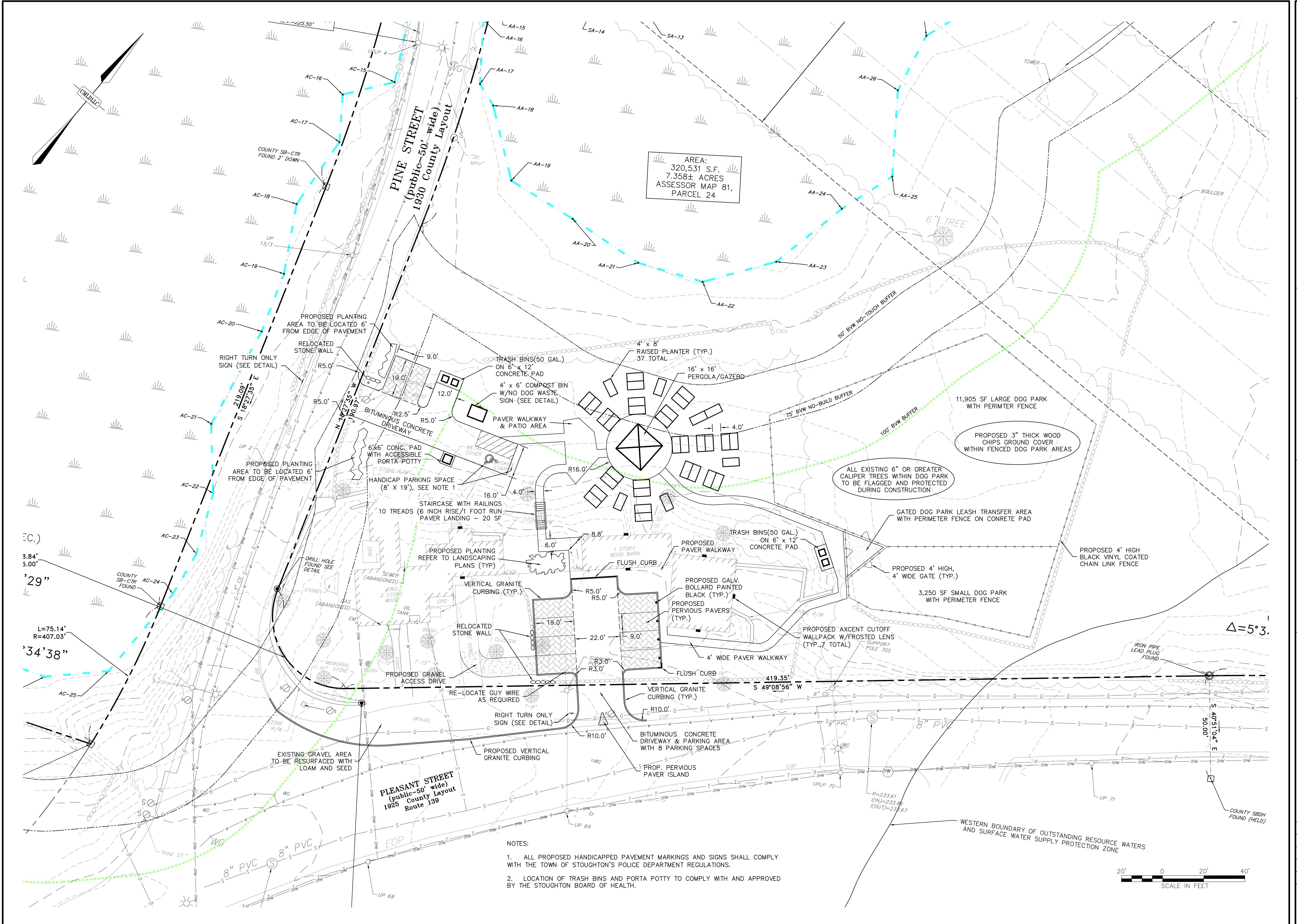
DEMOLITION AND EROSION
CONTROL PLAN

Center Mount
Land Development, LLC

DATE 10/29/2020
DESIGNED: RTL CHECKED: SMO
DRAFTED: RTL IN CHARGE: JCS
SCALE: 1" = 20'
PROJECT NO. 18124.0
SHEET NO. 3
OF 10

REVISIONS			
NO.	DATE	DESCRIPTION	DR/CK
1	4/1/21	REVS. PER TOWN PLANNER COMMENTS	SO/J5
2	6/1/21	REVS. PER PLANNING BOARD HEARING	SO/J5
3	6/17/21	REVS. PER PLANNING BOARD HEARING	SO/J5





REVISIONS				
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4	7/15/21	REVS. PER PLANNING BOARD HEARING		

LEN REYNOLDS F/L
EVELOPMENT CO.
10 PEARL STREET
N, MASSACHUSETT

LA

AYOUT PLAN

PROJECT: **CAPEN REYNOLDS FARM
760 PLEASANT STREET
STOUGHTON, MASSACHUSETTS**

PLAN SET: **PERMITTING PLANS**

DATE		10/29/2020	
DESIGNED:	RTL	CHECKED:	SMO
DRAFTED:	RTL	IN CHARGE:	JCS
SCALE:		1" = 20'	
PROJECT NO.		18124.0	
SHEET NO.		1	

4
OF 10



GRADING AND DRAINAGE PLAN

PERMITTING PLANS

Center Mount
Land Development, LLC

DATE 10/29/2020

DESIGNED: RTL CHECKED: SMO

DRAFTED: RTL IN CHARGE: JCS

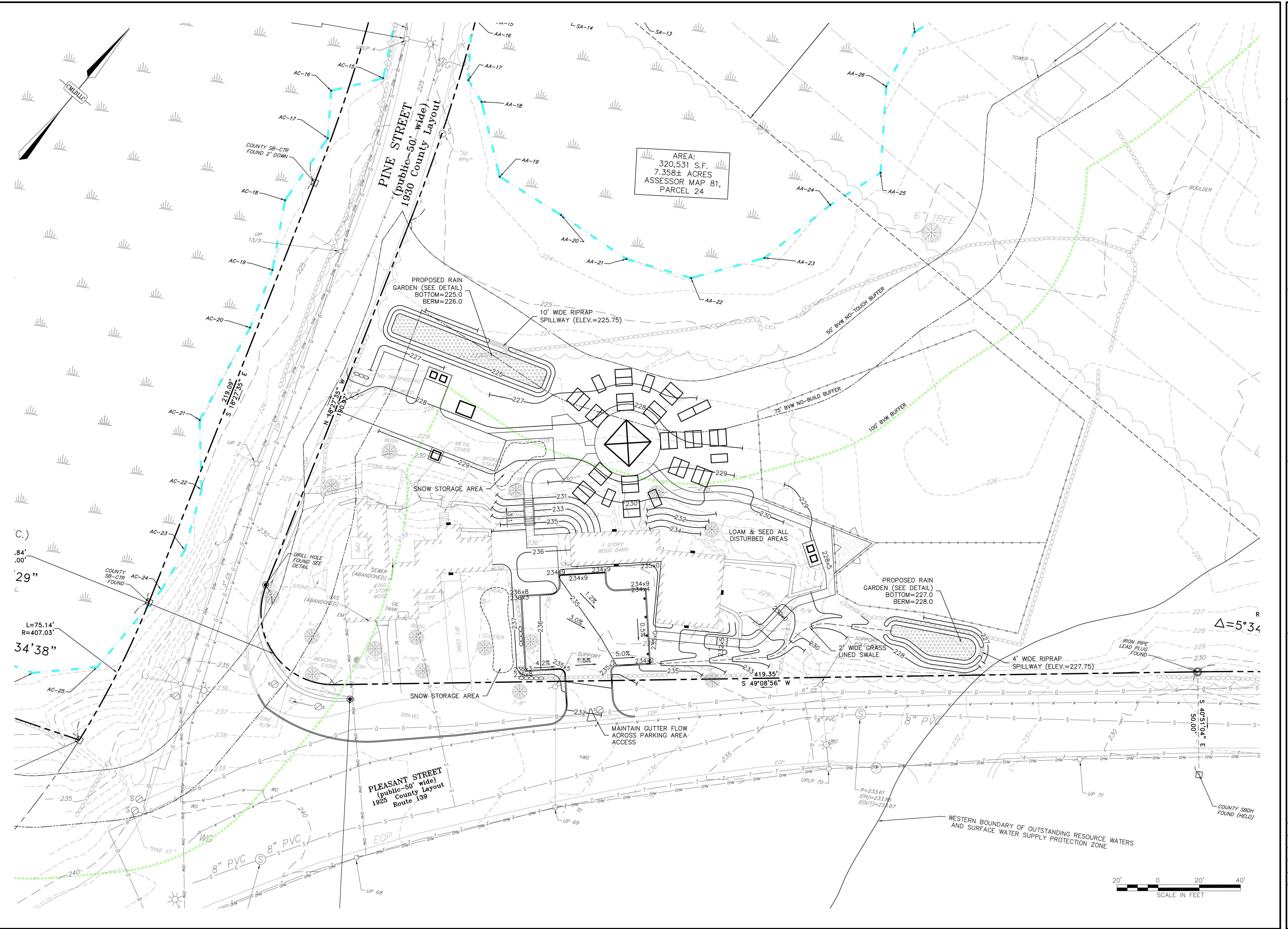
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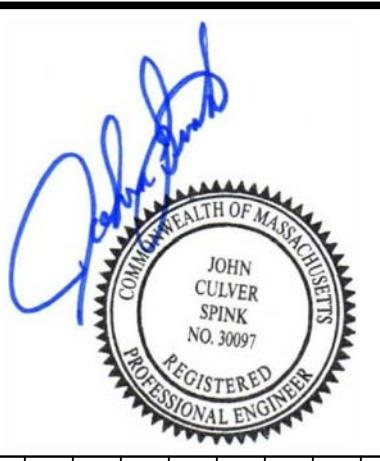
PROJECT NO. 18124.0

SCALE IN FEET

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OF 10



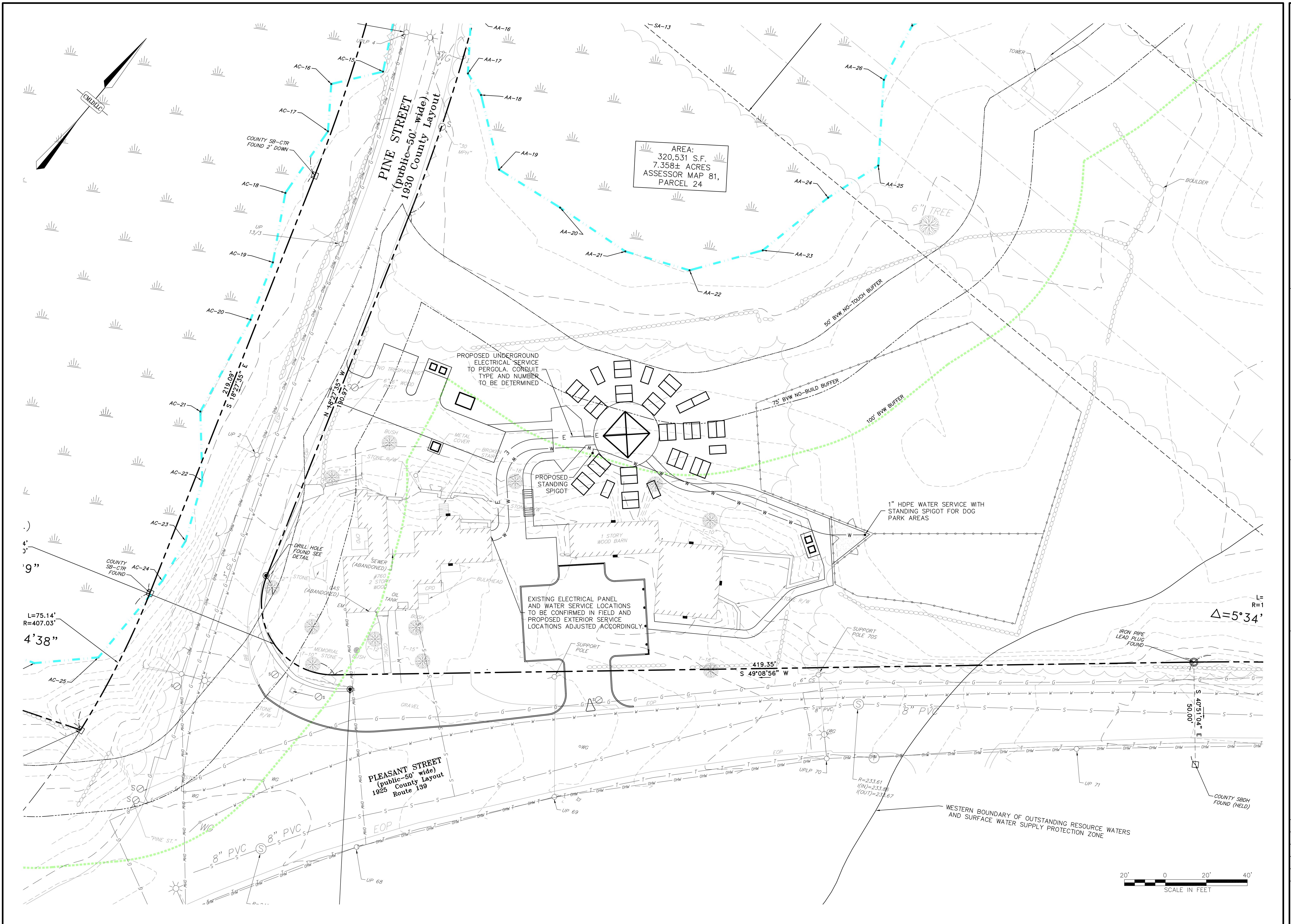


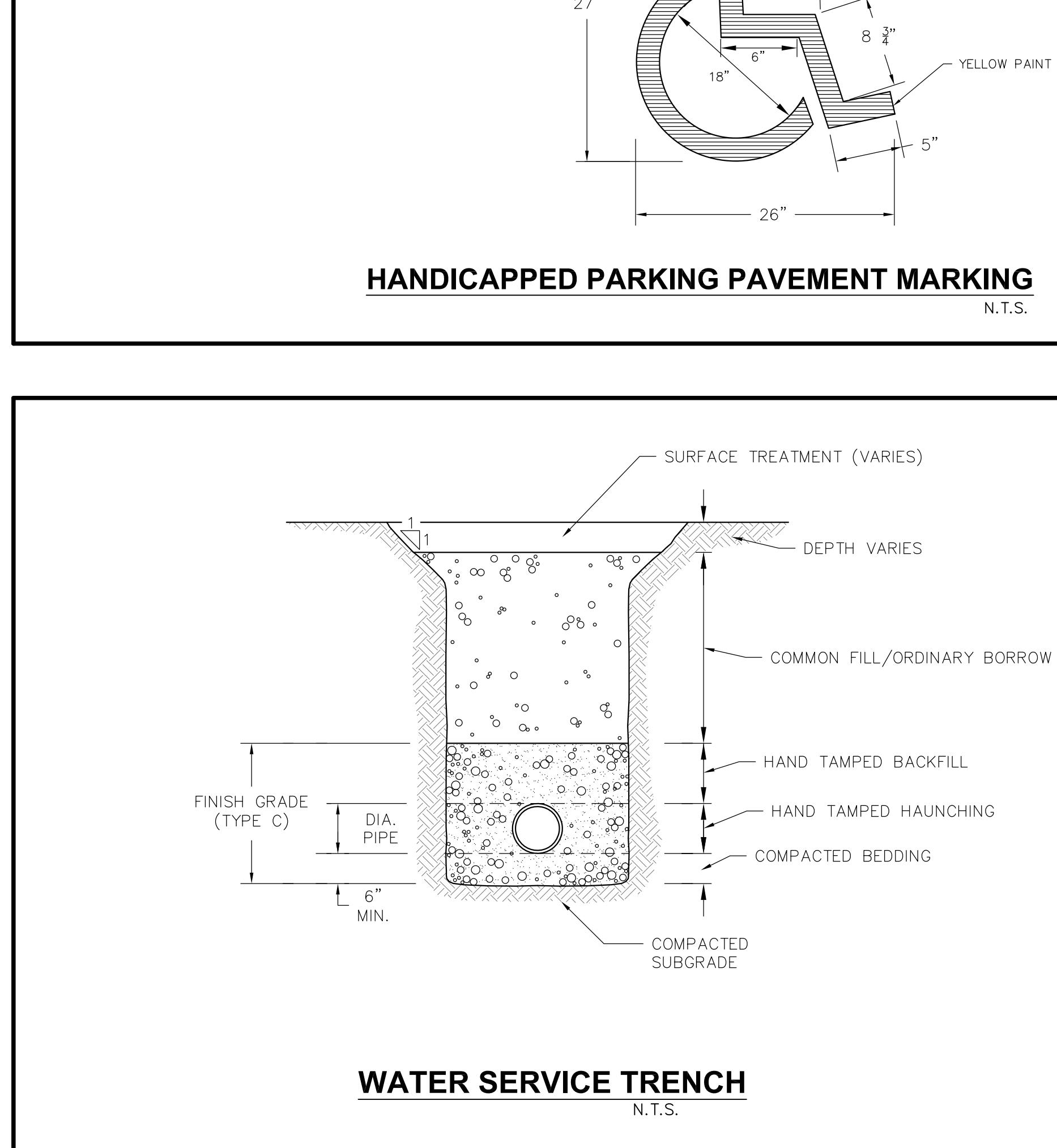
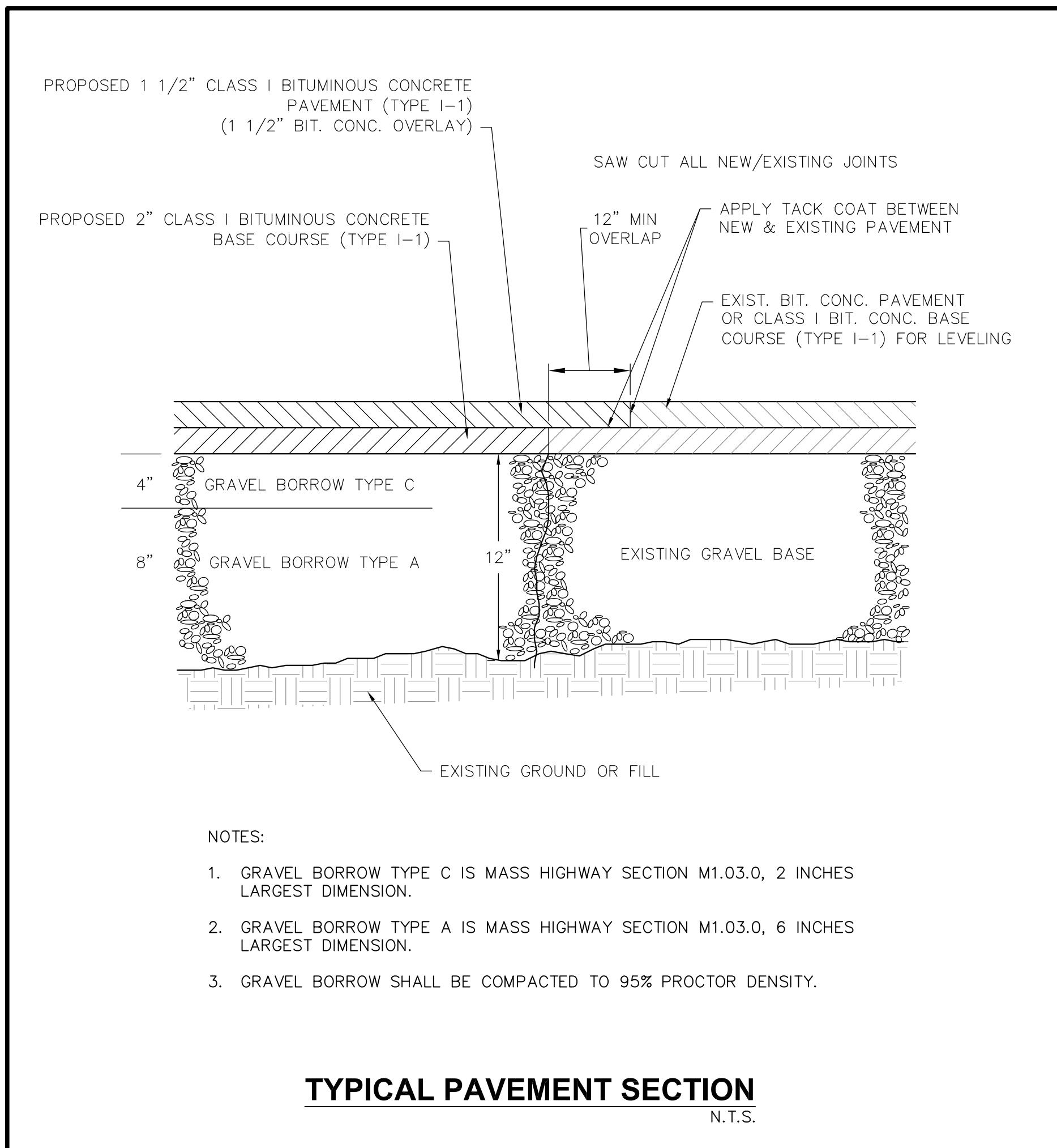
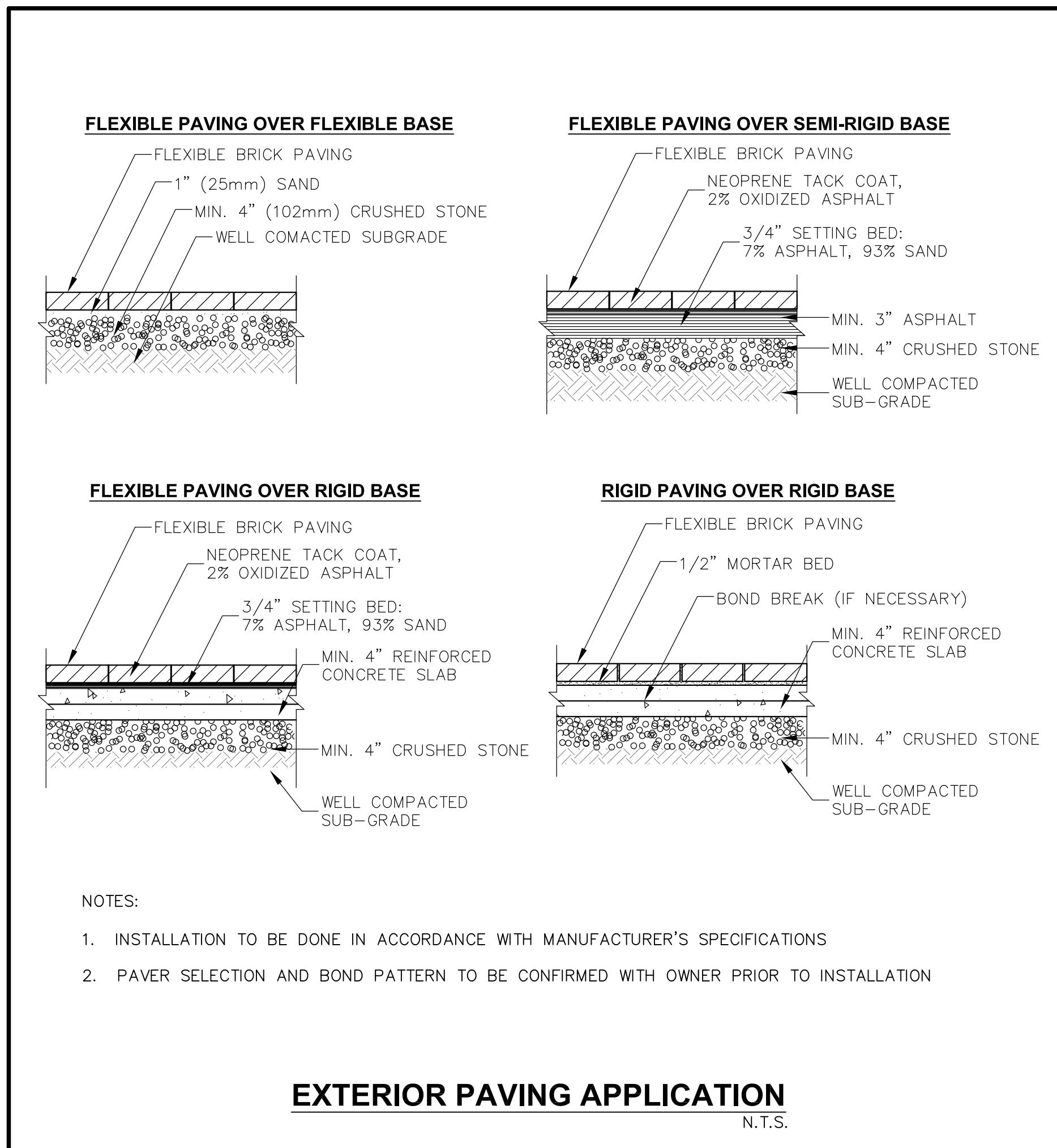
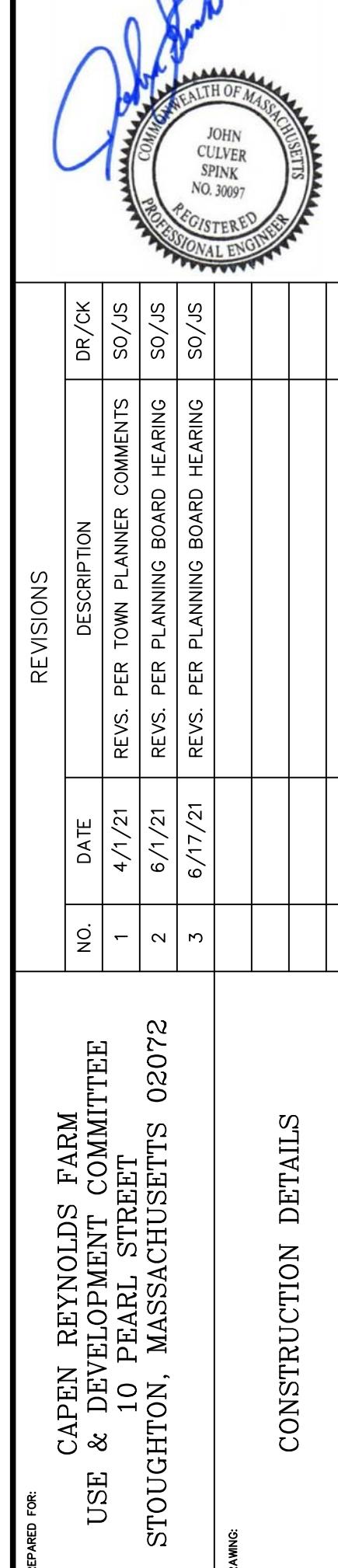
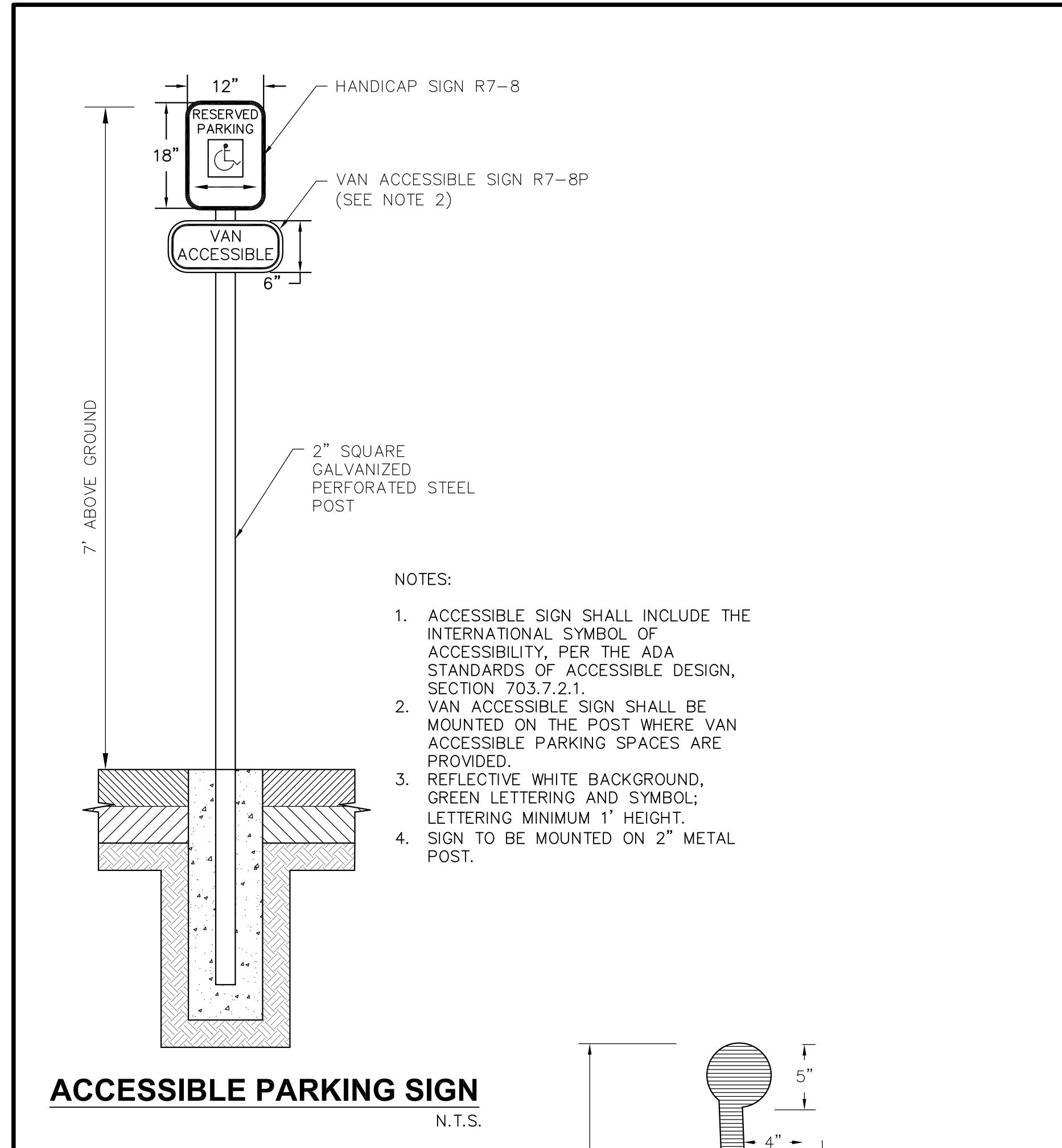
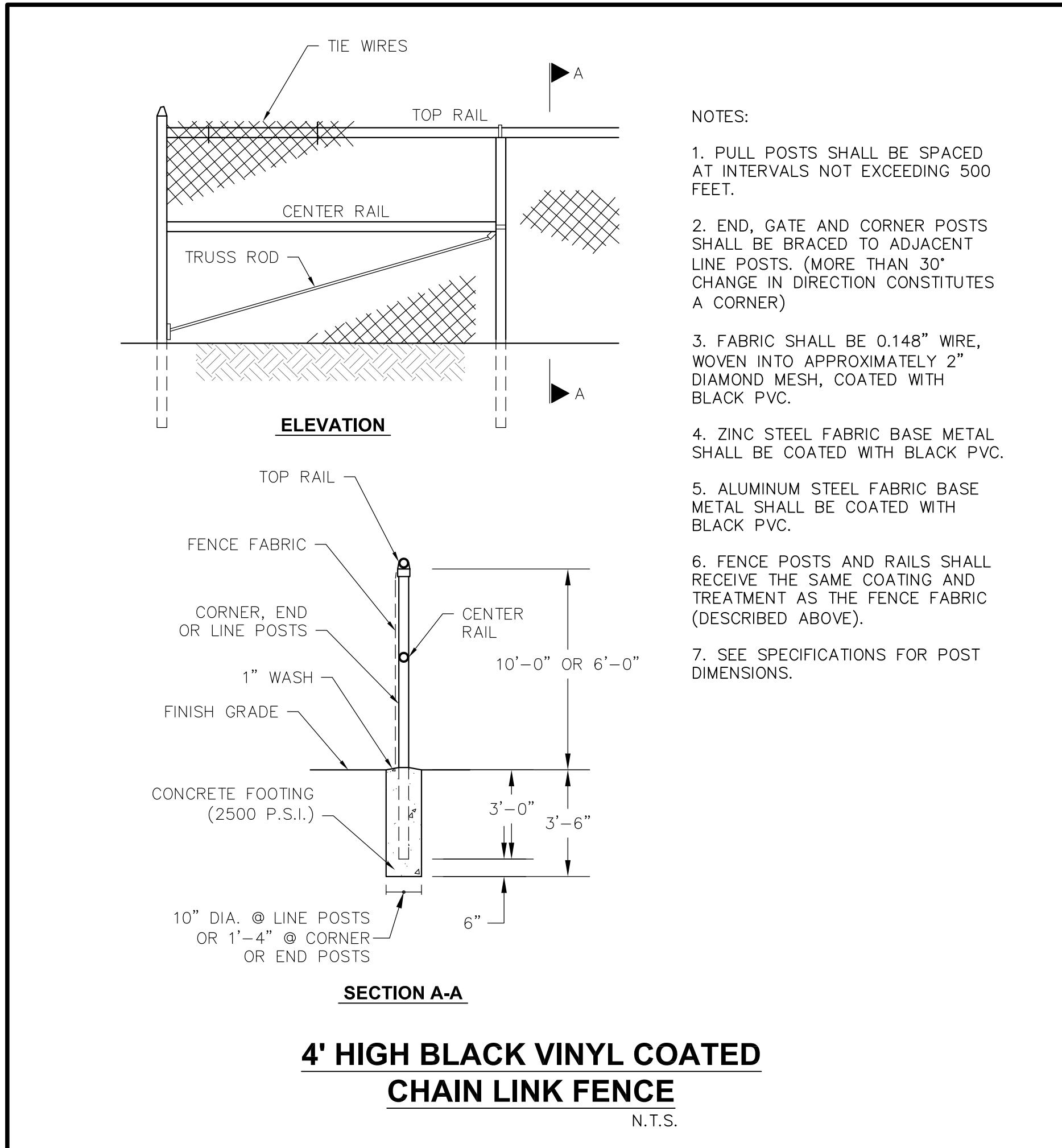
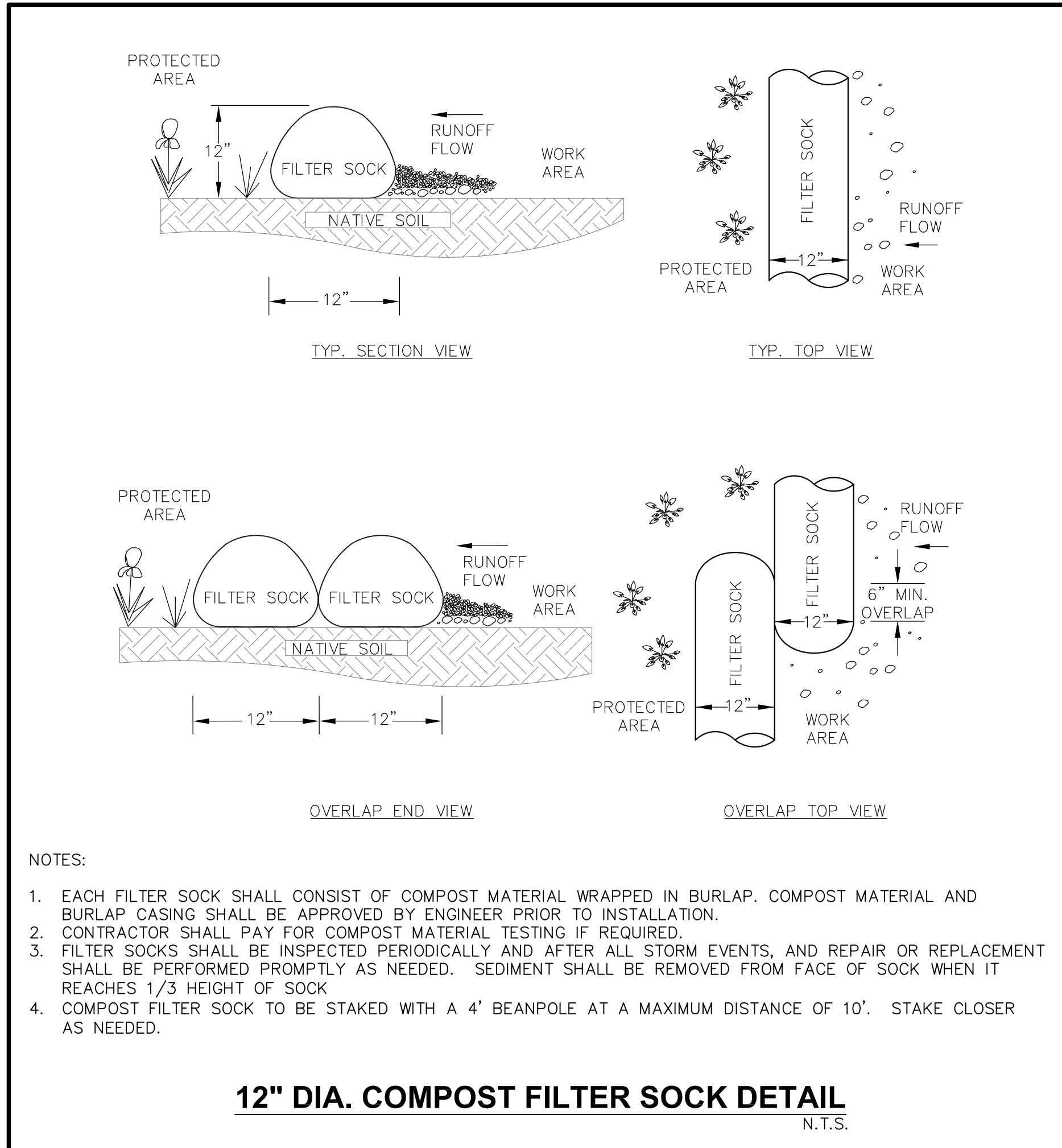
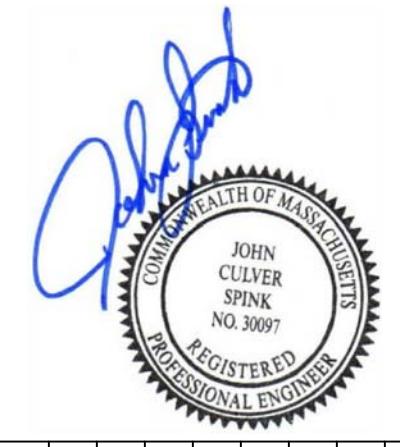
UTILITY PLAN

PERMITTING PLANS

Center Mount
Land Development, LLC

DATE 10/29/2020
DESIGNED: RTL CHECKED: SMO
DRAFTED: RTL IN CHARGE: JCS
SCALE: 1" = 20'
PROJECT NO. 18124.0
SHEET NO. 6
OF 10



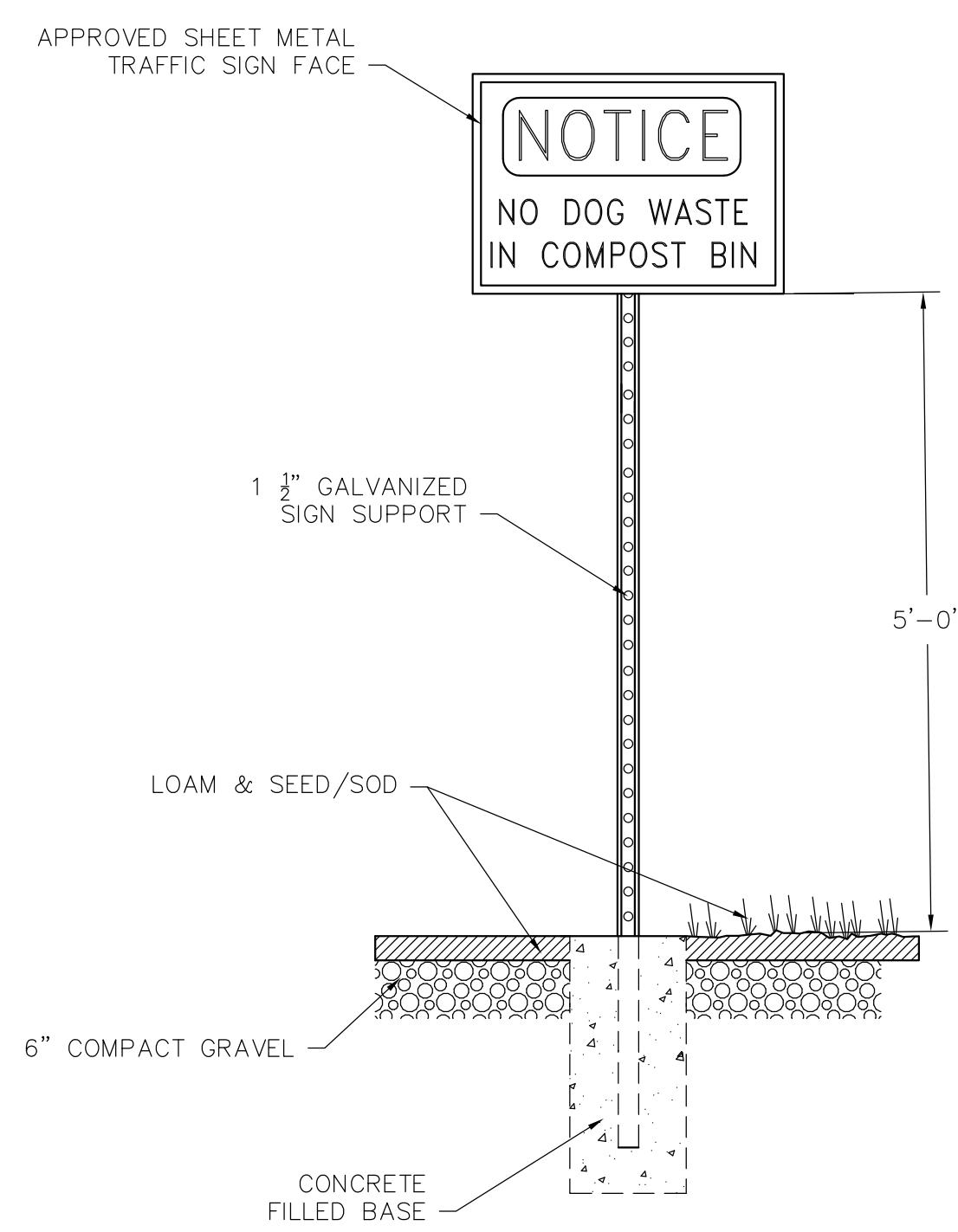




REVISIONS			
NO.	DATE	DESCRIPTION	DR./CK
1	4/1/21	REVS. PER TOWN PLANNER COMMENTS	SO/JS
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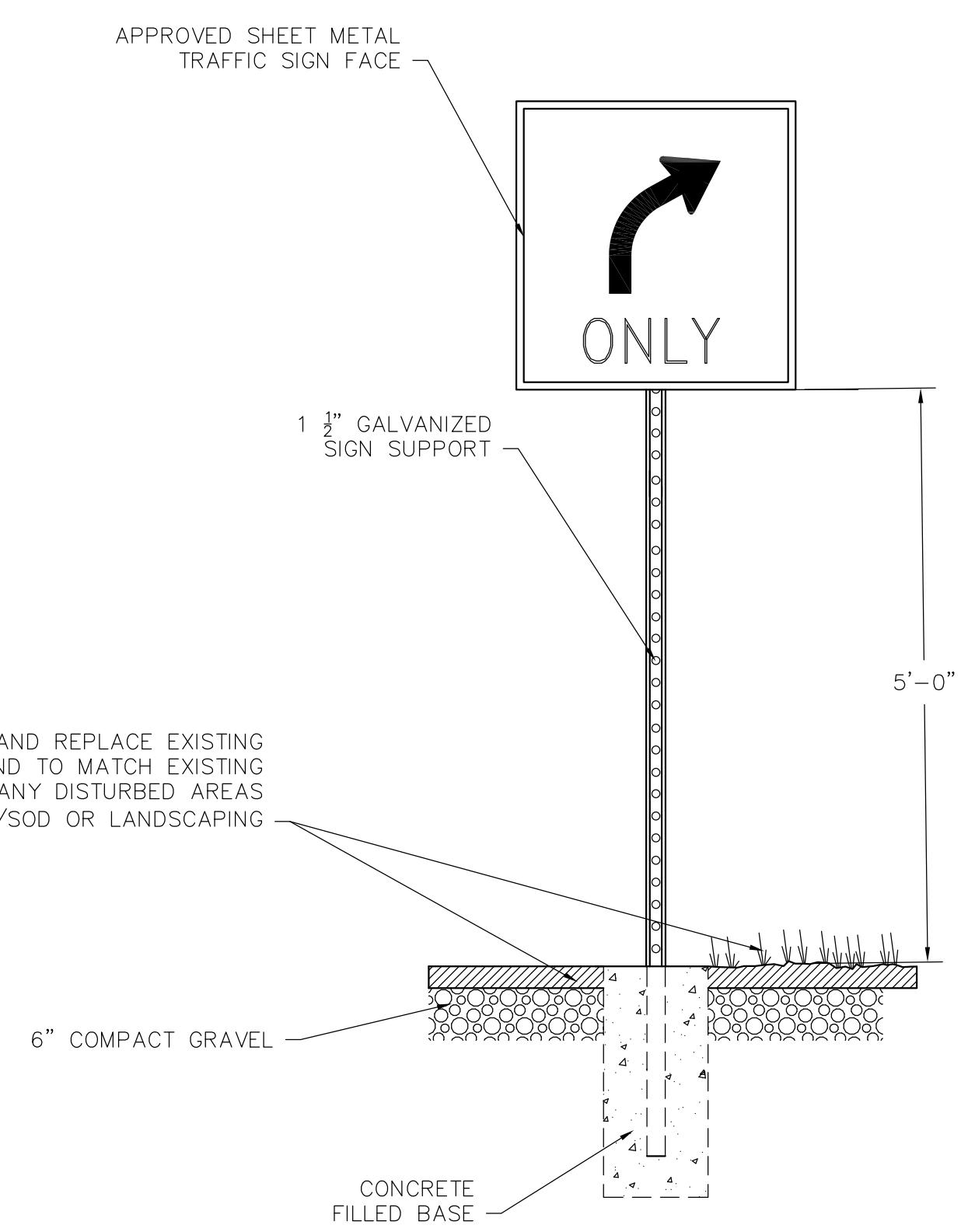
CONSTRUCTION DETAILS	
PREPARED FOR: CAPEN REYNOLDS FARM USE & DEVELOPMENT COMMITTEE 10 PEARL STREET STOUGHTON, MASSACHUSETTS 02072	REVIEWED: 4/1/21 6/1/21 6/17/21

PERMITTING PLANS	
PROJECT: CAPEN REYNOLDS FARM 780 PLEASANT STREET STOUGHTON, MASSACHUSETTS 02072	PLAN SET: PERMITTING PLANS



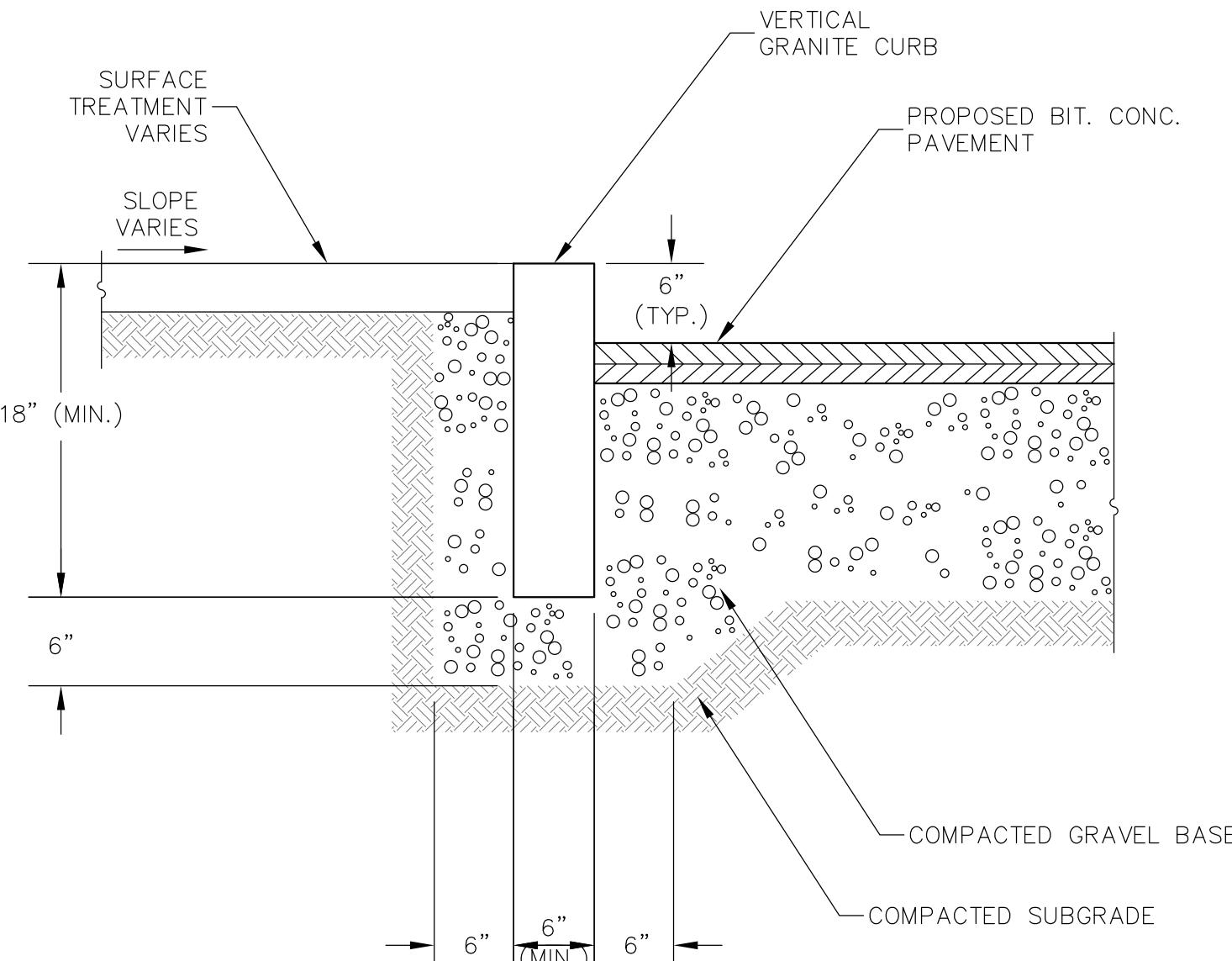
DOG WASTE SIGN

N.T.S.



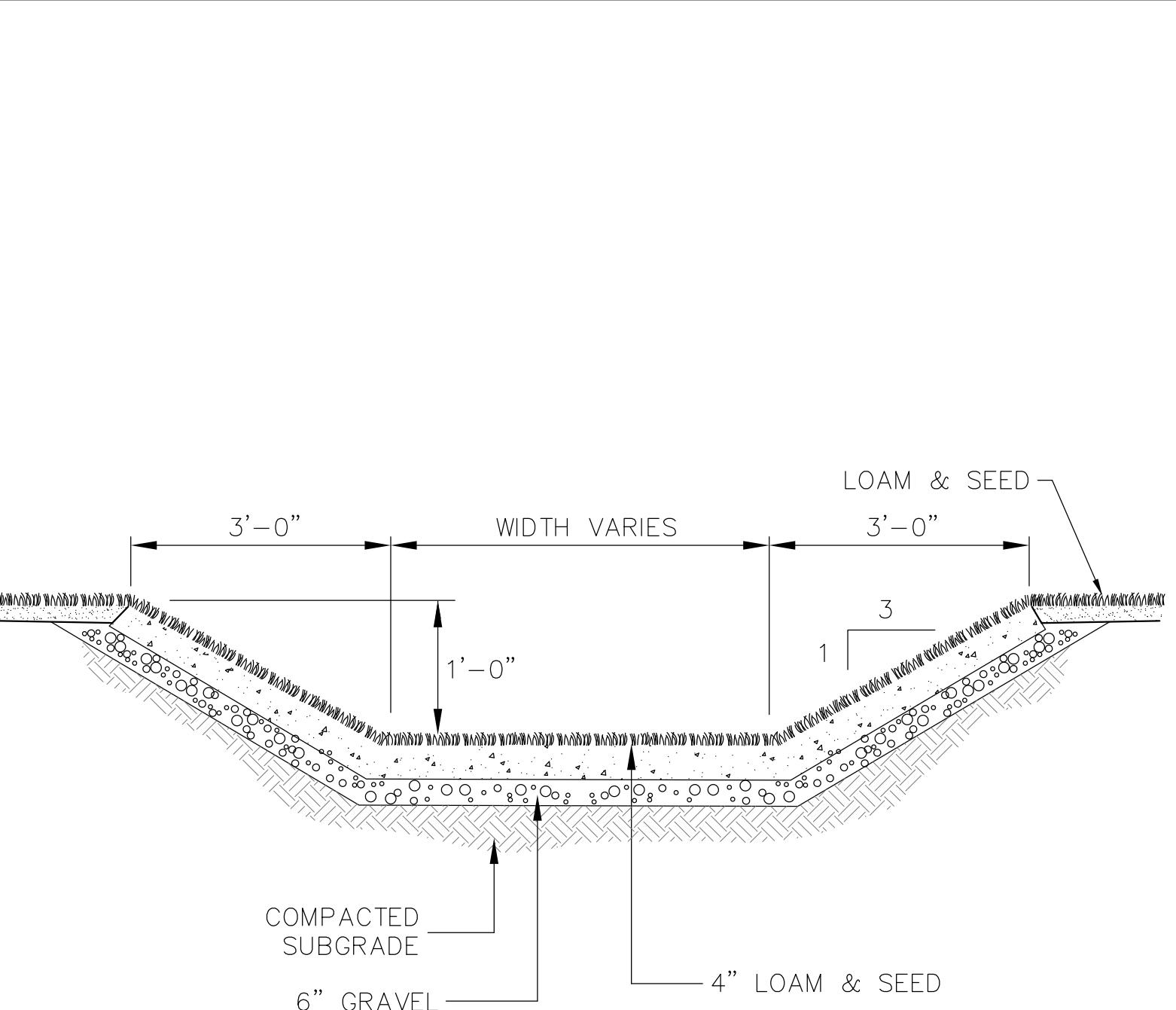
RIGHT TURN SIGN (R3-5r)

N.T.S.



VERTICAL GRANITE CURB (VGC)

N.T.S.

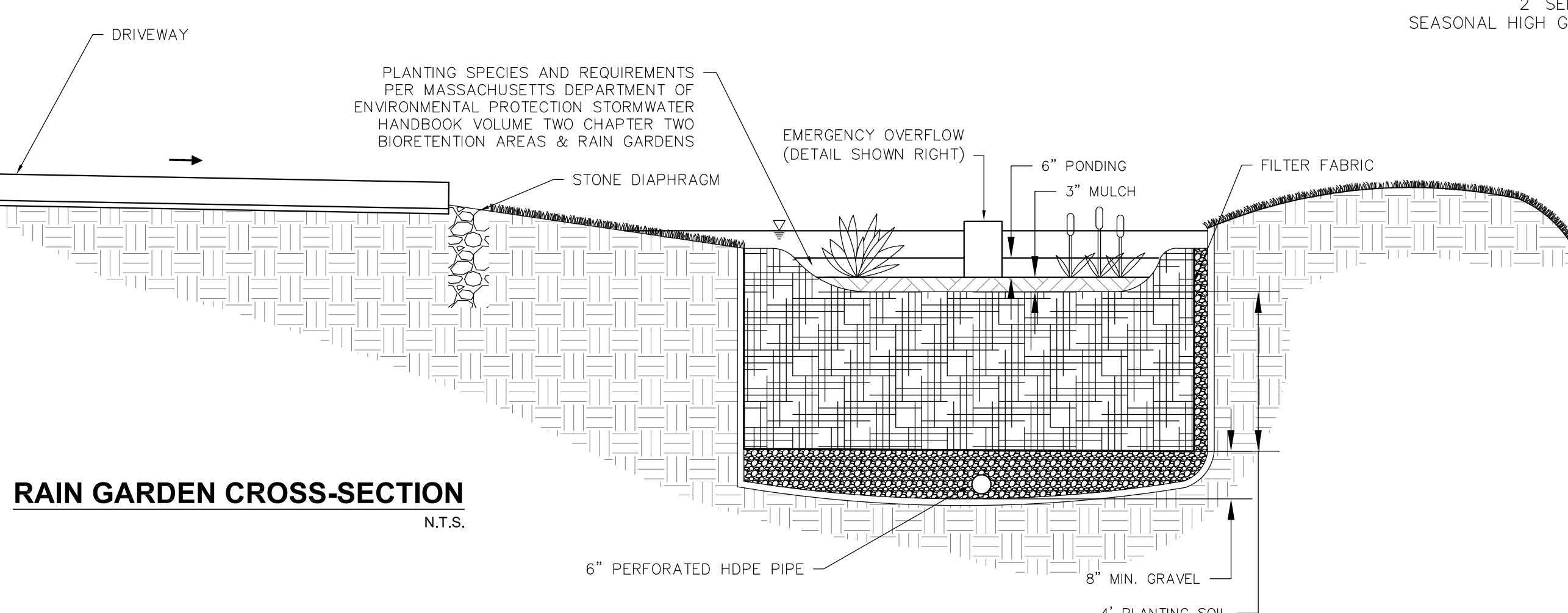


GRASS SWALE

N.T.S.

NOTES:

1. DETAIL AND SPECIFICATIONS FROM THE MASSACHUSETTS STORMWATER HANDBOOK, VOLUME 2, CHAPTER 2, TREATMENT BMP'S "BIORETENTION AREAS & RAIN GARDENS" GUIDELINE.
2. THE ENGINEERED SOIL MIX MUST BE UNIFORM, FREE OF STONES, STUMPS, ROOTS, OR SIMILAR OBJECTS LARGER THAN 2". CLAY CONTENT: LESS THAN 5% SOIL pH: 5.5-6.5. ORGANIC CONTENT: 1.5%-3%. SOLUBLE SALTS: 500 PPM (MAX.).
3. THE SAND COMPONENT OF THE MIX SHALL BE GRAVELLY SAND THAT MEETS ASTM D 422 WITH THE FOLLOWING PERCENT PASSING (SIEVE SIZE): 100% (2-INCH), 70-100% (3/4-INCH), 50-80% (1/4-INCH), 15-40% (U.S. NO. 40), 0-3% (U.S. NO. 200).
4. THE TOPSOIL COMPONENT SHALL BE A SANDY LOAM, LOAMY SAND, OR LOAM TEXTURE.
5. THE COMPOST COMPONENT SHALL BE PROCESSED FROM YARD WASTE IN ACCORDANCE WITH MASSDEP GUIDELINES AND SHALL NOT CONTAIN BISOLIDS.
6. SHGW: SEASONAL HIGH GROUNDWATER



RAIN GARDEN CROSS-SECTION

N.T.S.

RAIN GARDEN SOIL DETAIL

N.T.S.

DATE	10/29/2020		
DESIGNED:	RTL	CHECKED:	SMO
DRAFTED:	RTL	IN CHARGE:	JCS
SCALE:	N.T.S.		
PROJECT NO.	18124.0		
SHEET NO.	8		
OF 10			



ACER RUBRUM RED SUNSET



AMELANCHIER GRANDIFLORA AUTUMN BRILLIANCE



BETULA NIGRA HERITAGE



JUNIPERUS VIRGINIANA EMERALD SENTINEL



ARONIA ARBUTIFOLIA BRILLIANTISSIMA



REVISIONS			
NO.	DATE	DESCRIPTION	DR./CK
1	4/1/21	REVS. PER TOWN PLANNER COMMENTS	SO/JS
2	6/1/21	REVS. PER PLANNING BOARD HEARING	SO/JS
3	6/17/21	REVS. PER PLANNING BOARD HEARING	SO/JS



CALYCANTHUS FLORIDUS



HAMAMELIS VERNALIS



HYDRANGEA ARBORESCENS ANNABELLE



ILEX GLABRA SHAMROCK



ILEX VERTICILLATA MARYLAND BEAUTY



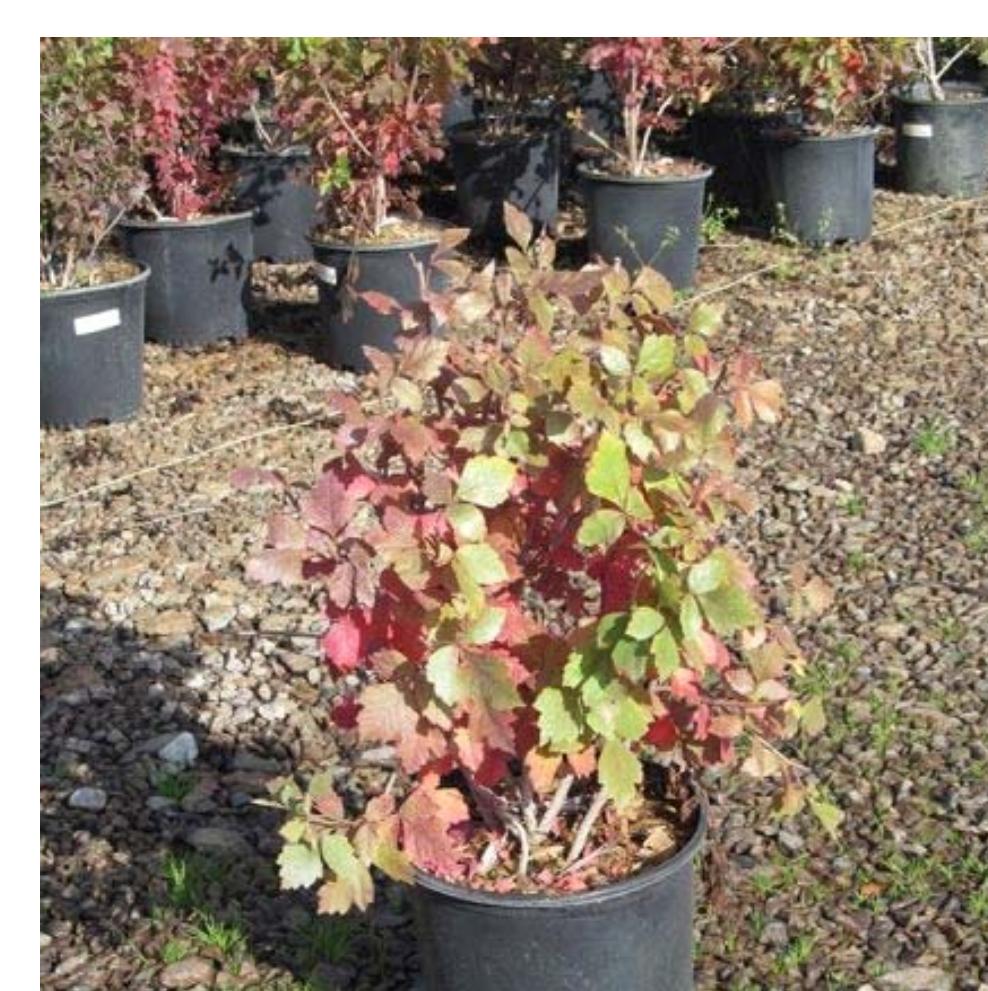
ILEX VERTICILLATA SOUTHERN GENTLEMAN



ITEA VIRGINICA HENRY'S GARNET



JUNIPERUS CONFERTA BLUE PACIFIC



RHUS AROMATICA "GRO-LOW"



Photo courtesy of Proven Winners - www.provenwinners.com

VIBURNUM DENTATUM AUTUMN JAZZ



VIBURNUM NUDUM WINTERTHUR



VIBURNUM PRUNIFOLIUM

PROJECT: CAPE N. REYNOLDS FARM 760 PLEASANT STREET STOUGHTON, MASSACHUSETTS 02072	PERMITTING PLANS
PLAN SET: REWING	LANDSCAPING DETAILS
PREPARED FOR: CAPE N. REYNOLDS FARM USE & DEVELOPMENT COMMITTEE 10 PEARL STREET STOUGHTON, MASSACHUSETTS 02072	
DATE: 10/29/2020	DESIGNED: RTL CHECKED: SMO
DRAFTED: RTL IN CHARGE: JCS	SCALE: N.T.S.
PROJECT NO. 18124.0	SHEET NO.



TOWN OF STOUGHTON

Massachusetts
MA 02072

PLANNING BOARD

Site Plan Approval for
760 Pleasant Street (Capen Reynolds)
Case SP # 20-06

Date: September 23, 2021

Applicant: Town of Stoughton
10 Pearl Street
Stoughton, MA 02072

Owner: Town of Stoughton
10 Pearl Street
Stoughton, MA 02072

Representative: Shane Oates
Center Mount Land Development, LLC
33 Commercial Street
Raynham, MA 02767

Property: 760 Pleasant Street (Assessor's Map 81, Lot 24)

I Project Summary

The proposed project includes the construction of community gardens and gated dog park with associated parking areas, walkways, landscaping, site grading, low impact drainage facilities and water and electrical service extensions.

II Procedural History

- A) Application for Site Plan Approval was made by the above referenced applicant and owners and filed with the Planning Board on November 6, 2020.
- B) The Site Plan submitted for review by the Planning Board is titled "Capen Reynolds Farm Project Plan, 760 Pleasant Street Stoughton, Massachusetts" prepared by Center Mount Land Development, LLC, 33 Commercial Street, Raynham, MA 02767, dated October 29, 2020 and revised through July 15, 2021.
- C) The land shown on the Site Plan is located off of Pleasant Street and Pine Street and is shown on Assessor's Map 81, Lot 24 (the "Property") and is located in the Residence C (RC) zoning district and consists of approximately 35.095 acres of lot area.

1

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2021
2021

D) A public hearing on the Site Plan Application was held on May 13, 2021, June 10, 2021 and June 24, 2021, July 22, 2021, August 12, 2021 and September 23, 2021.

II Application Submittals

- 1. The Site Plan submitted for review by the Planning Board is titled "Capen Reynolds Farm Project Plan, 760 Pleasant Street, Stoughton, Massachusetts" prepared by Center Mount Land Development, LLC, 33 Commercial Street, Raynham, MA 02767, dated October 29, 2020 and revised through July 15, 2021.
- 2. Druinge Report prepared by Boulder Engineering dated November 6, 2020.
- 3. Development Impact Report prepared by Richard Torry dated March 16, 2021 and revised through April 16, 2020.

III Related Documents

- 1. Copy of the Legal Public Notice from the edition of the Journal-Sun dated April 29, 2021 and May 6, 2021.
- 2. Certified List of Abutters dated November 6, 2020.
- 3. Comment letter from Sergeant James O'Connor of the Stoughton Police Department dated November 24, 2020.
- 4. Zoning review letter from Jack Erickson, Building Commissioner dated November 10, 2020.
- 5. Comment letter from Sean Leahy of the Board of Health dated December 23, 2020.
- 6. Comment letter from Scott Drea of the Stoughton Fire Department dated December 30, 2020.
- 7. Comment letter from Sargent James O'Connor of the Stoughton Police Department dated April 29, 2021.
- 8. Technical Review Letter from Craig Horsfall, Assistant Town Engineer dated May 5, 2021.
- 9. Comment letter from Michael Oates of Center Mount Land Development, LLC dated June 1, 2021.
- 10. Email from Mark Zemanik dated June 2, 2021.
- 11. Technical Review Letter from Craig Horsfall, Assistant Town Engineer (Second Review) dated June 21, 2021.
- 12. Technical Review Letter from Craig Horsfall, Assistant Town Engineer (Second Review) dated June 21, 2021.
- 13. Email from Tom Fitzgerald of the DPW dated July 15, 2021.

IV Findings

- 1. The Planning Board finds that the applicant has submitted the required information for determination of approval of the Site Plan.
- 2. The Planning Board finds that the proposed use will not be detrimental to this district or the surrounding neighborhood and will not create noise, dust, odor or visual impacts that will have a negative effect.
- 3. The Planning Board finds that the proposed use will not be detrimental to this district or the surrounding neighborhood and will not create noise, dust, odor or visual impacts that will have a negative effect.
- 4. The Planning Board finds that the proposed use will not be detrimental to this district or the surrounding neighborhood and will not create noise, dust, odor or visual impacts that will have a negative effect.
- 5. The Planning Board finds that the proposed use will not be detrimental to this district or the surrounding neighborhood and will not create noise, dust, odor or visual impacts that will have a negative effect.
- 6. The Planning Board finds that the proposed use will not be detrimental to this district or the surrounding neighborhood and will not create noise, dust, odor or visual impacts that will have a negative effect.
- 7. All applicable Zoning Bylaw requirements of the Town of Stoughton shall be satisfied.
- 8. The project shall be constructed in accordance with any approvals issued relative to this project from all applicable town boards, departments and commissions, who shall retain their respective authorities and oversight of such permits, approval and decisions.
- 9. No site activity shall take place at the property under the Site Plan and Special Permit without proper authorization and permitting from all local and state agencies, as required.
- 10. Construction shall be performed by contractors licensed to perform such work in the Town of Stoughton.

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Department throughout this process and provided due diligence on all aspects with a comprehensive approach to the impact of the development on the community.

- 4. The Planning Board, in granting the Applicant's request for a Site Plan Approval pursuant to the provisions of Section 10.6 "Site Plan Approval" found that the Applicant has met the conditions and the project will not result in any substantial detriment to the district.

V Decision

A) General Conditions

- 1. This decision for Site Plan Approval and Special Permit shall expire in two (2) years from the filing date of this decision unless substantial construction has commenced. The expiration of this decision may be extended, for good cause, upon timely written request by the applicant at the discretion of the Planning Board.
- 2. Prior to the commencement of construction, a revised full set of approved plans and specifications, showing any required changes to the Site Plan required by this decision shall be submitted to the Planning Board for its records. The Planning Board decision shall be scanned onto and incorporated into the approved Site Plan/Special Permit plan set on the last page of the plan and shall be submitted to the Planning Department.
- 3. Electronic PDF copies of the approved plans shall be submitted to the Engineering Department and the Planning Department following endorsement and recording. The plans shall also be submitted to the Engineering Department in AutoCAD format.
- 4. Any modification(s) affecting the approved site plan, this decision or any other action or condition approved under this decision shall be subject to the review and approval of the Planning Board prior to implementing said modification(s) on the ground. Minor modifications may not require an additional public hearing, which is at the discretion of the Planning Board.
- 5. The Applicant is responsible for the filing of this decision with the Registry of Deeds.
- 6. The Applicant shall hold a pre-construction meeting with the Engineering Department to coordinate the necessary inspections.

B) Special Conditions

C) Record of Vote

D) Record of Vote

E) Record of Vote

F) Record of Vote

G) Record of Vote

H) Record of Vote

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J) Record of Vote

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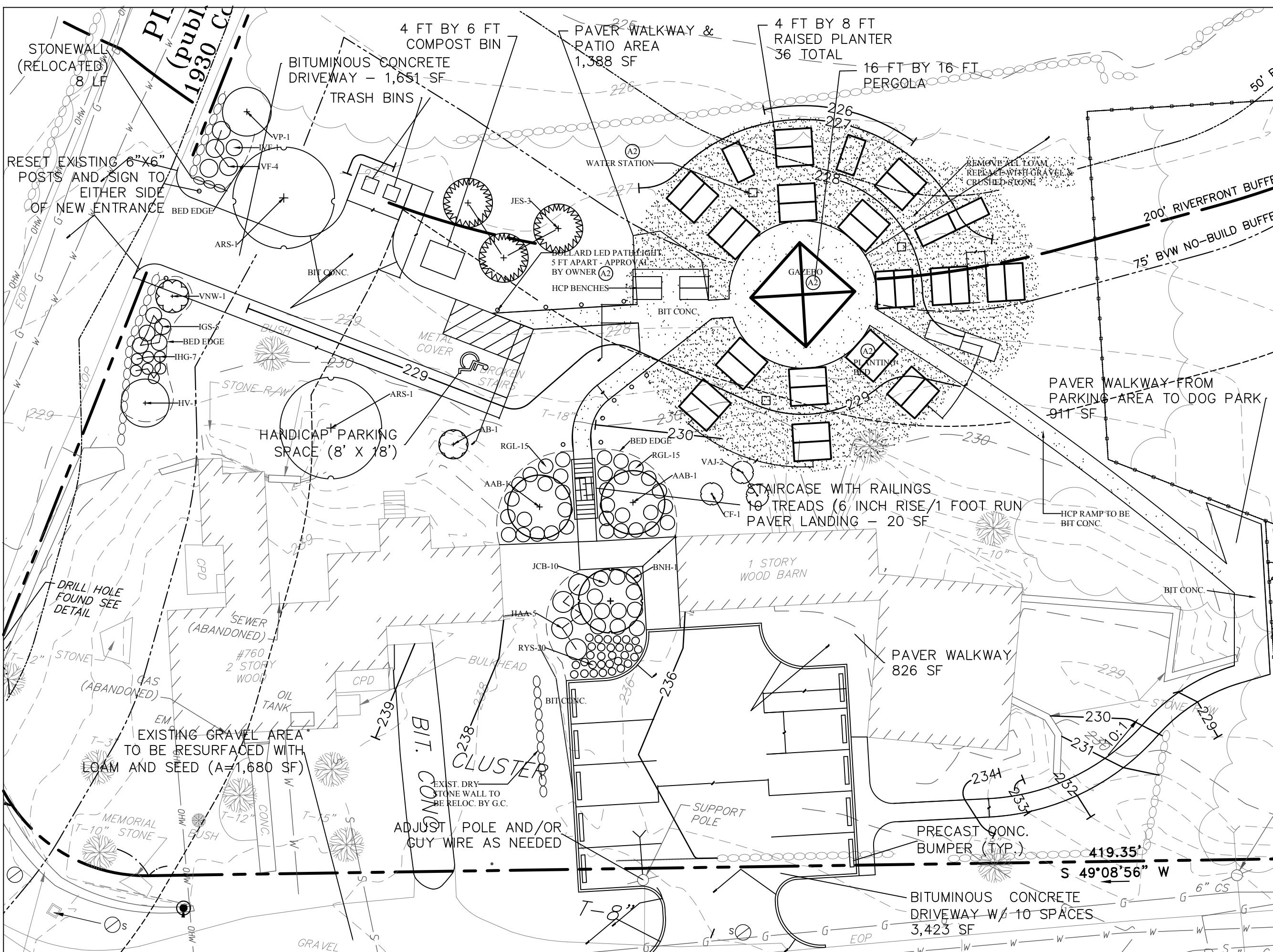
II) Record of Vote

JJ) Record of Vote

KK) Record of Vote

GENERAL NOTES

- ALL PERMITS BY GENERAL CONTRACTOR. ALL WORK SHALL CONFORM TO THE MASSACHUSETTS STATE BLDG. CODE, LATEST EDITION AND ALL OTHER REGULATIONS GOVERNING THIS TYPE OF WORK INCLUDING MGL CHAPTER 82, SECTION 40, 40 A THROUGH 40 E INCLUSIVE COMMONLY KNOWN AS DIGSAFE. SEE NOTE 4 THIS DWG.
- EACH CONTRACTOR AND SUBCONTRACTOR SHALL VISIT THE SITE PRIOR TO THE SUBMISSION OF BIDS TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS, DIMENSIONS AND SITE CONSTRAINTS. ALL DIMENSIONS, NEW AND EXISTING, ARE TO BE VERIFIED BY THE G.C. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO SUBMISSION OF A BID.
- EXISTING SUBSURFACE UTILITIES, DEPICTED HEREON, SHOULD BE CONSIDERED APPROXIMATE IN THEIR LOCATIONS AND ATTRIBUTES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF SUBSURFACE UTILITIES AND THE COORDINATING OF THE PROPOSED CONSTRUCTION ACTIVITIES WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANY AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE. DIG-SAFE SHALL BE NOTIFIED PER COMMONWEALTH OF MASSACHUSETTS STATUTES CHAPTER 82, SECTION 409 AT LEAST 72 HOURS BEFORE THE START OF CONSTRUCTION AT TELEPHONE NUMBER 1-888-344-7233. THE ARCHITECT DOES NOT GUARANTEE ACCURACY OF THE SUBSURFACE UTILITIES DEPICTED HEREON OR THAT ALL UTILITIES ARE SHOWN IN THEIR ENTIRETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SIZE, LOCATION AND INVERTS OF STRUCTURES, AS REQUIRED, PRIOR TO THE START OF CONSTRUCTION.
- DO NOT SCALE DRAWINGS. USE INDICATED, CALCULATED DIMENSIONS, OR FIELD MEASUREMENTS.
- TO "REMOVE" SHALL MEAN TO REMOVE ALL MATERIALS, CONNECTIONS, ETC. AND DISPOSE OF LEGALLY.
- ALL BIDDERS SHALL CONFIRM ALL GRADE CONDITIONS AND IDENTIFY ANY POTENTIAL GRADE ISSUES PRIOR TO THE SUBMITTAL OF A BID. FAILURE TO DO SO WILL NOT RELIEVE A BIDDER/CONTRACTOR FROM THEIR RESPONSIBILITIES TO CORRECT AT NO ADDITIONAL COST TO THE CLIENT.
- NO WORK SHALL BE LEFT EXPOSED TO THE OPEN ELEMENTS WHILE G.C. IS OFF SITE. ALL EXCAVATIONS SHALL BE PROTECTED TO PREVENT ACCIDENTAL FALLING / INJURY TO WORKERS, OWNERS, OR VISITORS.
- ANY EXCAVATED MATERIAL IN EXCESS OF THAT NECESSARY FOR BACKFILLING SHALL BE STOCK PILED ON SITE BY DIRECTION OF OWNER.
- G.C. SHALL BE RESPONSIBLE FOR STRUCTURAL INTEGRITY OF MATERIALS, CONNECTIONS AND ANCHORING OF ALL ROUGH CARPENTRY WORK.
- THE INTENT FOR BIDDING @ CONSTRUCTION IS THAT ALL SYSTEMS SHALL BE INSTALLED AS COMPLETE. EACH BIDDER SHALL EXAMINE EXISTING CONDITIONS & RELOCATE ANY DEVICE OR SYSTEM COMPONENT THAT ENCUMBERS THE NEW DESIGN.
- ALL WORK SHALL BE GUARANTEED 100% FOR 1 (ONE) YEAR FROM DATE OF ISSUANCE OF CERTIFICATE OF OCCUPANCY BY LOCAL AUTHORITIES.
- TO REMOVE AND / OR DEMOLISH SHALL BE EXTENDED TO MEAN; PROVIDE SHORING AT DISTURBED AREAS AS REQUIRED AND TO DISPOSE OF ALL DEBRIS LEGALLY.
- G.C. SHALL COORDINATE THEIR WORK WITH ANY OF THE OWNERS SUB CONTRACTORS.
- NO WORK SHALL BE COVERED UP UNTIL SIGNED OFF BY THE APPROPRIATE INSPECTORS.
- ELECTRICAL SUB CONTRACTOR SHALL PROVIDE A DESIGN BUILD ELECTRICAL SYSTEM FOR FIXTURES AND CONTROLS.
- PLUMBING SUB CONTRACTOR SHALL PROVIDE A DESIGN BUILD PLUMBING SYSTEM. ALL NEW FIXTURES. MAIN PLUMBING SHUT OFF VALVE SHALL BE INSTALL IN FARMHOUSE WITH BLOW OUT CONTROL. APPROVAL BY OWNER.



PROPOSED PLAN

SCALE: $\frac{1}{16}$ = 1'-0"

(A2) SEE SHEET A-2

PLANTING NOTES AND SPECIFICATIONS				
The base plan information for the planting design have come from the Capen Reynolds Farm Permitting Plan Set dated 9/12/2018. Notify 'Dig Safe' to verify all utility locations prior to the start of work.				
Contractor shall take steps to protect any existing trees (where applicable) within the work area prior to the start of work. All plants will conform to the current "The American Standard for Nursery Stock" published by the American Association of Nurserymen. All plants will be balled in burlap or container grown as indicated per plant list.				
The lawn and planting bed areas should have a minimum of 4" of new screened loam as indicated per specifications. Perennial bed areas and ground cover areas should have a minimum of 4" of new screened loam as indicated in the specifications. The final specifications are the decision of the Owner and Contractor based on the soil conditions of the site.				
All plants shall be planted slightly above the root flare as they grew in the ground or the container on firm undisturbed earth in plant pits. The plant pits should be a minimum of twice the plant ball or container size. Amend the existing soil with a small amount of compost during installation in plant pits. If the excavated soil is excessively stony or poor, remove from the site and use loam-compost mix for the planting backfill material. Use the excess soil to create small soil "saucers" around the trees and larger (3ft and greater) deciduous, evergreen or broadleaf plants.				
Install shredded pine bark mulch (medium brown color) for all planting beds and individual plants in lawn areas. The "loose measure" depth for trees and shrubs will be 3" and for perennials and grasses will be 2" depth. Do not use dyed mulch or mulch containing ground recycled wood, stumps or pallets. Review final mulch selection with the owner and/or Landscape Designer. Contractor shall stake or guy all deciduous and flowering trees greater than 2" caliper and evergreen trees greater than 8 feet in height. Review materials and methods with the Owner and/or Landscape Designer. Staking or guying of trees and evergreens smaller than these specifications should be discussed prior to installation.				
The Owner and Landscape Designer will make the final decision on the plant substitutions. Selected specimens must be tagged or reviewed and approved by the Owner or Landscape Designer. The Contractor shall maintain all new plants until acceptance by the Owner or Landscape Designer. All new plants will be guaranteed to be alive and capable of new growth for a period of one year from the date of acceptance. Transplanted plants will not be guaranteed. The cost of replacement plants and their installation will be the responsibility of the Contractor. Only one replacement of any plant will be made. Transplanted plants are not guaranteed.				

PLANT LIST				
Key	Quan.	Name	Size	Remarks/Mature Height
ARS	2	<i>Acer rubrum</i> Red Sunset (Red Sunset Red Maple)	2.5-3" caliper.	40'-50'
AAB	2	<i>Amelanchier grandiflora</i> Autumn Brilliance (Serviceberry)	6-ft ht.	Clump form./15'-25'
BNH	1	<i>Betula nigra</i> Heritage (Heritage River Birch)	10-12ft ht.	Clump form./40'-50'
JES	3	<i>Juniperus virginiana</i> Emerald Sentinel (Emerald Sentinel Eastern Red Cedar)	6-7ft ht.	30'-60'
Shrubs				
AB	1	<i>Aronia arbutifolia</i> Brillantissima (Red Chokeberry)	5 gal. pots	4'-6'
CF	1	<i>Calycanthus floridus</i> (Sweetshrub)		8'-10'
HV	1	<i>Hamamelis vernalis</i> (Vernal Witchhazel)	3-ft high	6'-10'
HAA	5	<i>Hydrangea arborescens</i> Annabelle (Annabelle Smooth Hydrangea)	5 gal. pots	3'-5'
IGS	5	<i>Ilex glabra</i> Shamrock (Shamrock Inkberry Holly)	5 gal. pots	3'-4'
IVF	4	<i>Ilex verticillata</i> (female) Maryland Beauty	5 gal. pots	Alternate "Red Sprite"/3'-4'
JVM	1	<i>Ilex verticillata</i> (male) Southern Gentleman	5 gal. pots	6'-10'
IHG	7	<i>Itea virginica</i> Henry's Garnet (Virginia Sweetspire)	3 gal. pots	3'-4'
JCB	10	<i>Juniperus conferta</i> Blue Pacific (Shore Juniper)	3 gal. pots	4'-5'
RGL	30	<i>Rhus aromatica</i> 'Gro-Low' (Fragrant Sumac)	3 gal. pots	2'-8'
VAJ	2	<i>Viburnum dentatum</i> Autumn Jazz (Arrowwood Viburnum)	3-ft high	Alternate "Blue Muffin". 5'-7"
VNW	1	<i>Viburnum nudum</i> Winterthur (Smooth Viburnum)	3-ft high	Alternate "Brandywine"/10'
VP	1	<i>Viburnum prunifolium</i> (Blackhaw Viburnum)	3-ft high	12'-15'
Perennials-Grasses				
RVS	20	<i>Rudbeckia</i> Viretta's Little Suzy (Black Eyed Susan)	1 gal. pots	Alternate Nepeta Blue Wonder (Catmint)

Plant Information:
Google search the Botanical or Common name of any plant to view photos.
Note! Please review any plant changes in type or size with the owner and/or the Landscape Designer before purchase.
Container plants to be full, multiple stemmed plants.

COMMUNITY GARDEN
CAPEN REYNOLDS
STOUGHTON MA

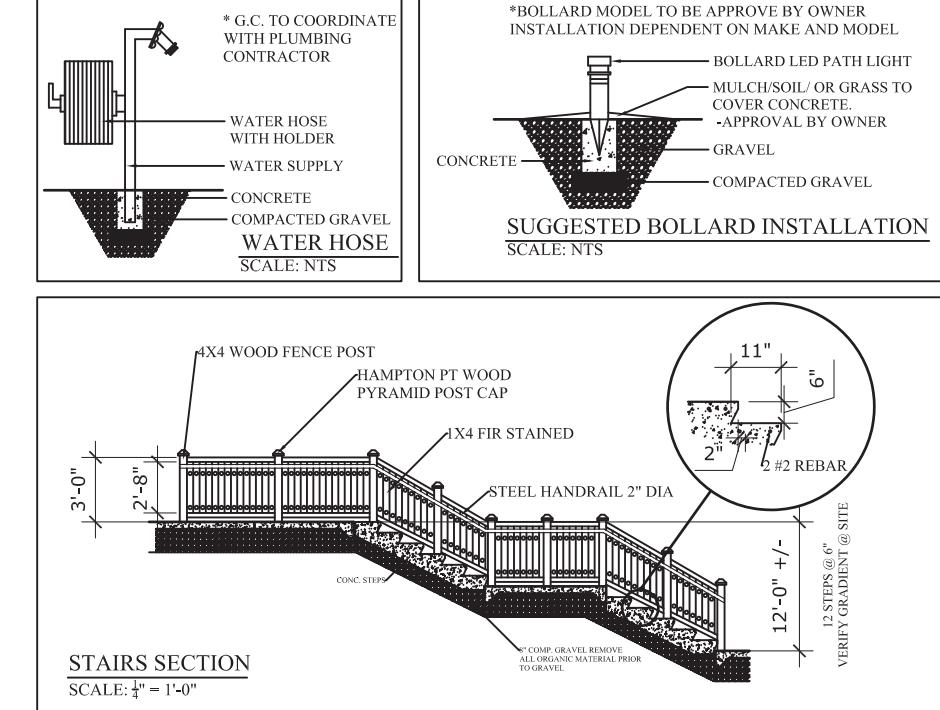
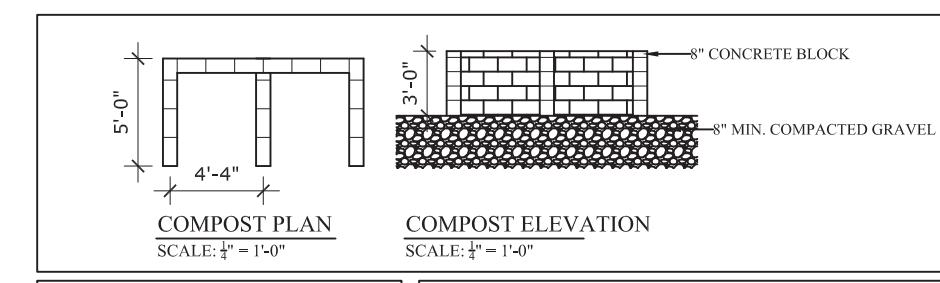
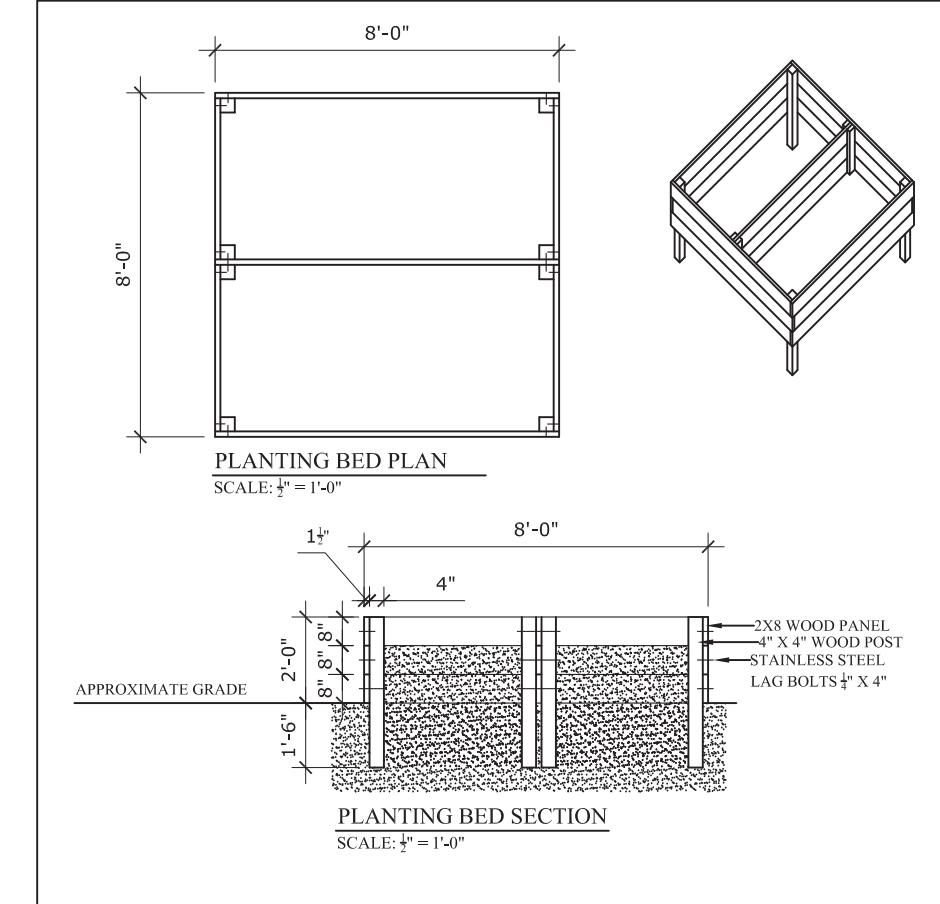
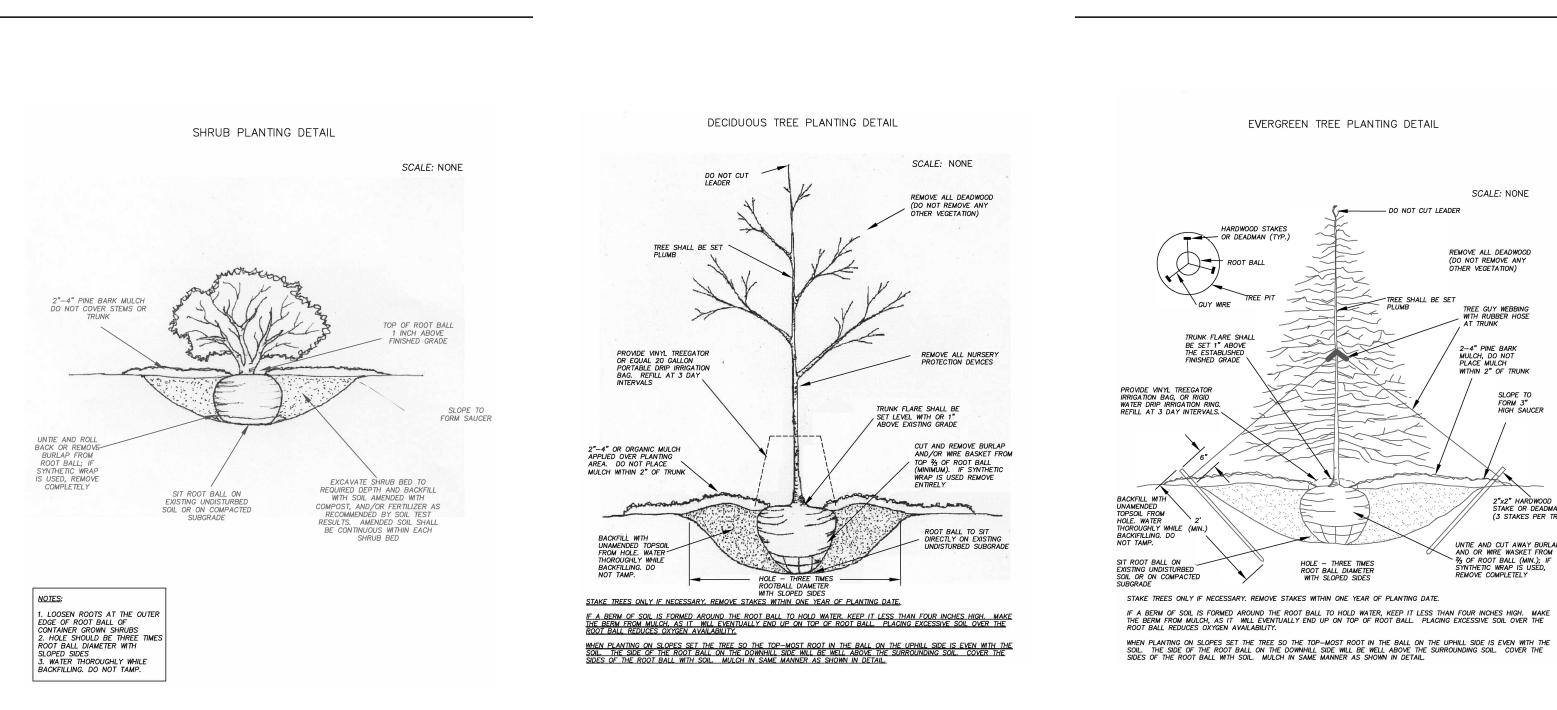
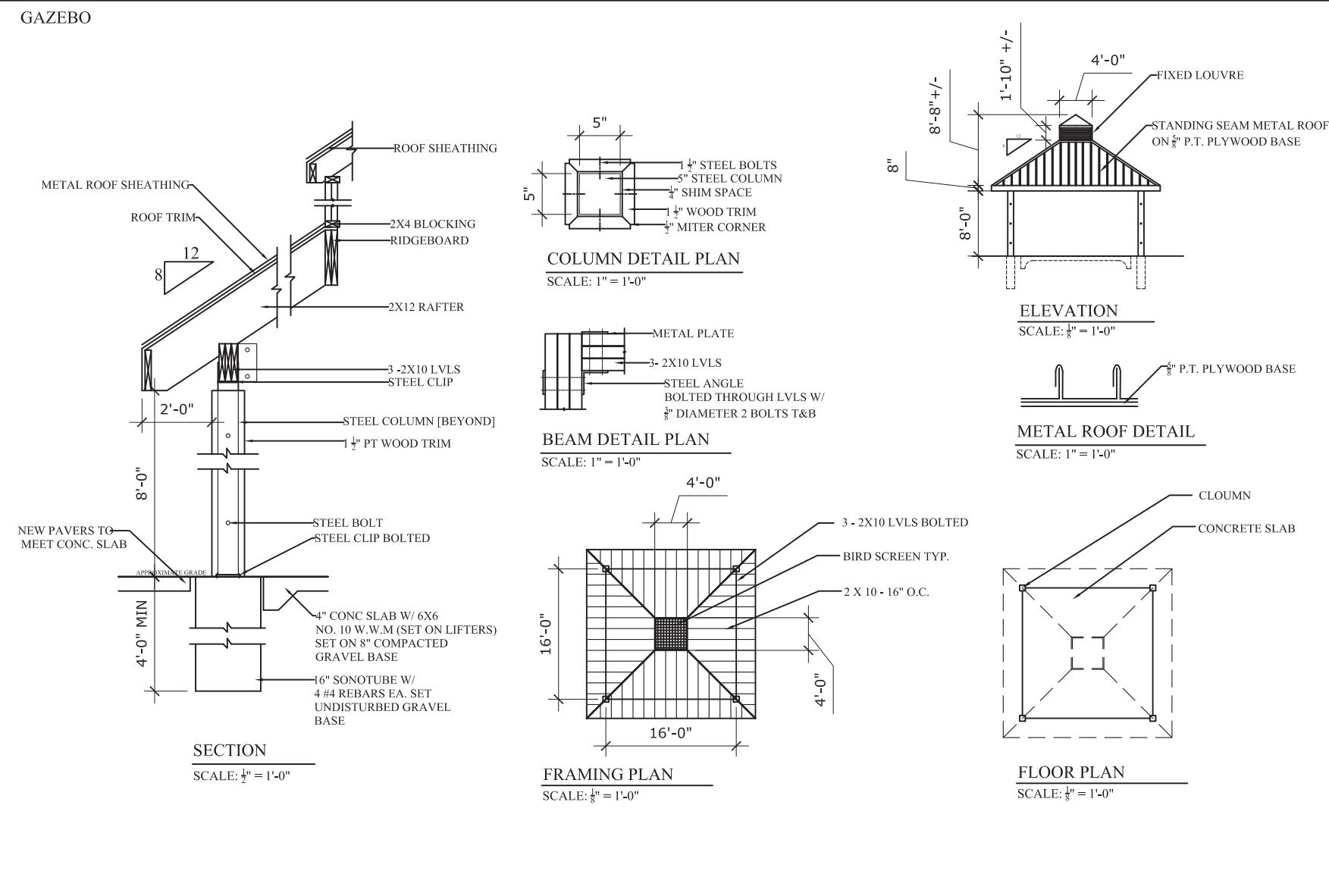
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Ph. 781 395 2827
BGA@bgoba.com

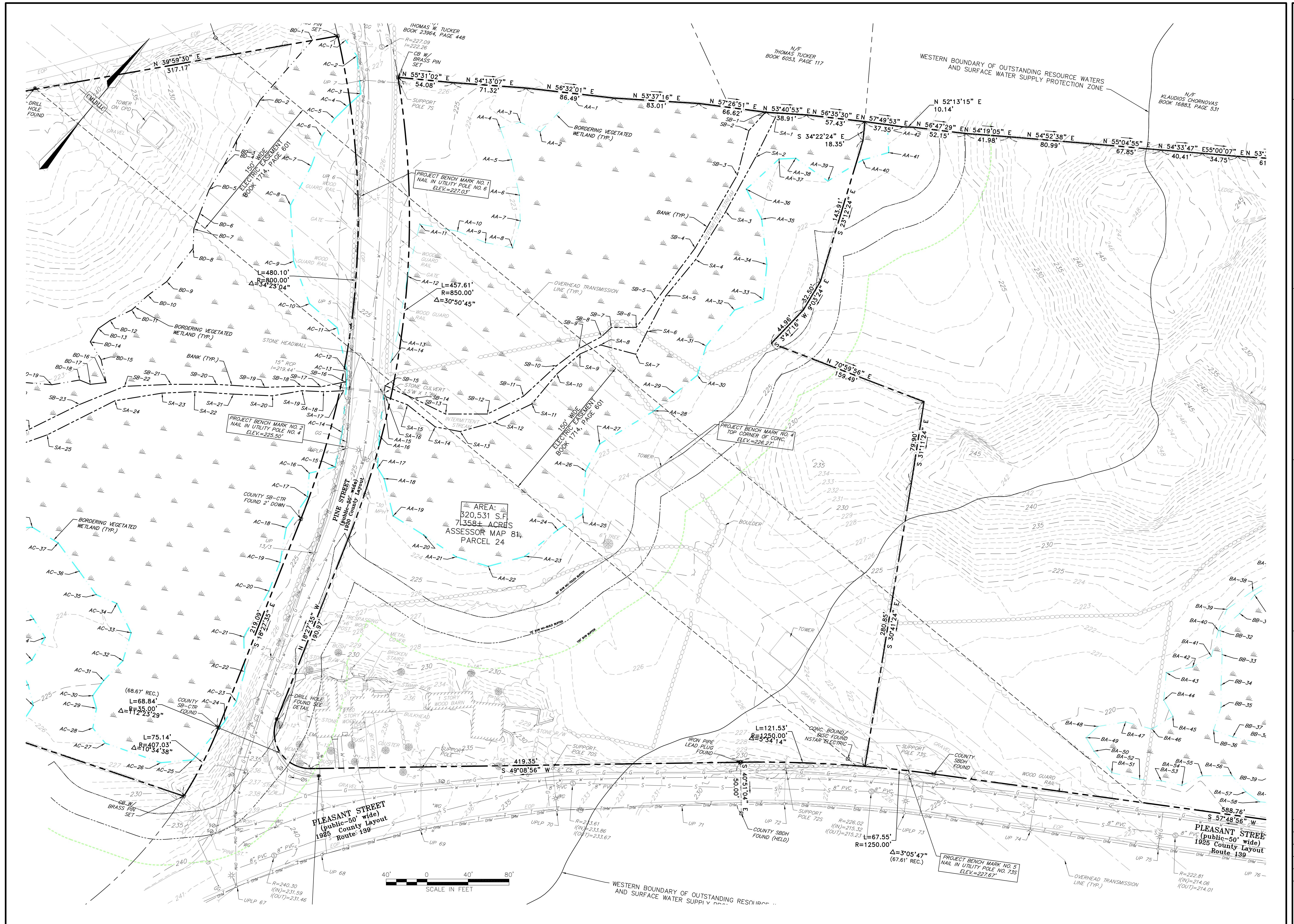
REVISIONS
04/01/21 - SO

DATE PLOTTED:
APRIL 10, 2019

GENERAL NOTES
PROPOSED PLAN
PLANT NOTES & LIST
SCALE 1/16" = 1'-0"
DRAWN BY: FC
CHECKED BY: BG

GAZEBO





Center Mount
Land Development, LLC

DATE 10/29/2020
DESIGNED: RTL CHECKED: SMO
DRAFTED: RTL IN CHARGE: JCS
SCALE: 1" = 40'
PROJECT NO. 18124.0
SHEET NO. R1

REF ID: 000
PERMITTING PLANS
EXISTING CONDITIONS PLAN
DRAWINGS

REVISIONS	
NO.	DATE
1	4/1/21
2	6/1/21
3	6/17/21

REVS. PER TOWN PLANNER COMMENTS
REVS. PER PLANNING BOARD HEARING
REVS. PER PLANNING BOARD HEARING

CAPEN REYNOLDS FARM
10 PEARL STREET
STOUGHTON, MASSACHUSETTS 02072