

CAPEN REYNOLDS FARM

PERMITTING PLANS

760 PLEASANT STREET

STOUGHTON, MASSACHUSETTS

DESCRIPTION

COVER SHEET
NOTES & LEGEND
DEMOLITION & EROSION CONTROL PLAN
LAYOUT PLAN
GRADING & DRAINAGE PLAN
UTILITY PLAN
CONSTRUCTION DETAILS
CONSTRUCTION DETAILS
LANDSCAPING DETAILS
SIGNATURE PAGE

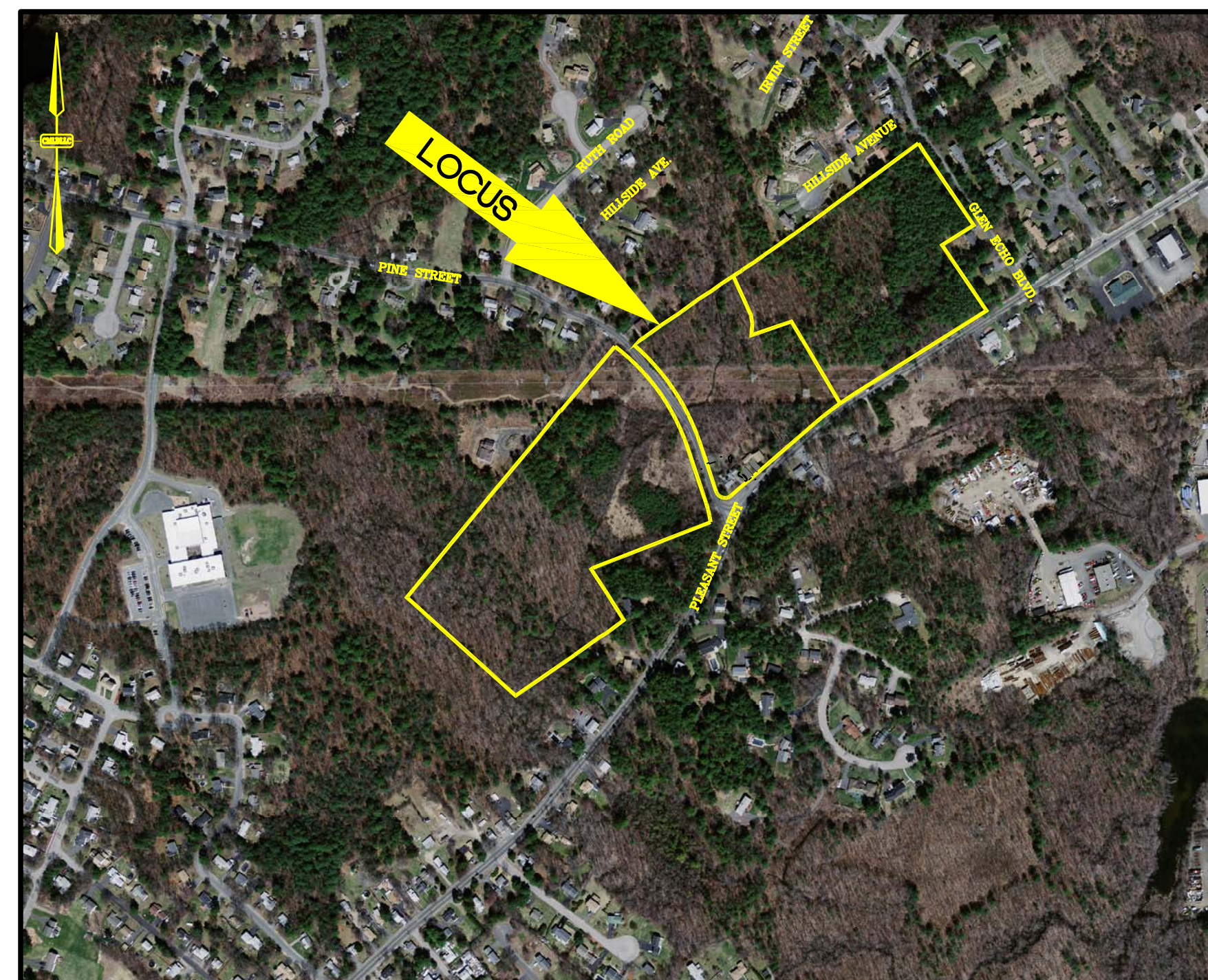
REFERENCE PLANS

LANDSCAPE ARCHITECTURE PLANS
EXISTING CONDITIONS PLAN

SHEET

1
2
3
4
5
6
7
8
9
10

A1-A2
R1



MASS GIS AERIAL PHOTO

SCALE: 1' = 500'

WAIVERS REQUESTED:

STOUGHTON ZONING BY-LAW, SECTION 10.0, ADMINISTRATION AND PROCEDURES, 10.6, SITE PLAN APPROVAL:

6.1.6 TABLE OF OFF-STREET PARKING REQUIREMENTS - USE NUMBER 14, APPLICANT REQUESTS REDUCTION IN REQUIRED NUMBER OF PARKING SPACES.

10.6.9(18) LOCATION FOR ALL PROPOSED SIGHT LIGHTING AND CONSTRUCTION DETAILS. ALSO, A PHOTOMETRIC PLAN SHALL BE INCLUDED THAT SHOW THE INTENSITY OF LIGHTING THROUGHOUT THE SITE AND ONTO ADJACENT PROPERTIES AND ANY ROADWAY(S).

10.6.9(19) LOCATION, SPECIFICATIONS AND CONSTRUCTION DETAILS FOR ALL SITE SIGNAGE TO INCLUDE ON-SITE DIRECTIONAL SIGNAGE.

10.6.9(20) ...COLOR RENDERINGS ARE ALSO REQUIRED.

10.6.10 DEVELOPMENT IMPACT REPORT (DIS) - A DEVELOPMENT IMPACT REPORT WILL BE REQUIRED FOR ALL PROJECTS. THE PLANNING BOARD MAY WAIVE IN PART, OR IN WHOLE, ANY REQUIREMENTS CONTAINED IN THE DIR WHICH IT DEEMS INAPPLICABLE TO THE PROJECT PROPOSAL AND SHALL CONTAIN THE FOLLOWING ELEMENTS:...

10.6.11 STORMWATER MANAGEMENT PLAN AND REPORT - THE CONTENTS OF THE STORMWATER MANAGEMENT PLAN SHALL CONTAIN SUFFICIENT INFORMATION FOR THE ENGINEERING DEPARTMENT TO EVALUATE THE HYDROLOGICAL AND HYDROLOGICAL-DEPENDENT CHARACTERISTICS OF THE LAND TO BE DEVELOPED, THE POTENTIAL AND PREDICTED IMPACTS OF LAND DEVELOPMENT ON THE LOCAL HYDROLOGY, AND THE EFFECTIVENESS AND ACCEPTABILITY OF ALL MEASURES PROPOSED BY THE APPLICANT FOR REDUCING ADVERSE IMPACTS. SUMMARY DATA SHALL BE PROVIDED IN TERMS UNDERSTANDABLE TO THE PLANNING BOARD AND THE GENERAL PUBLIC. THE STORMWATER MANAGEMENT DESIGN SHALL BE PREPARED IN COMPLIANCE WITH THE STORMWATER STANDARDS OF THE LATEST EDITION OF THE STORMWATER MANAGEMENT REGULATIONS AND THE STORMWATER HANDBOOK OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION. ADDITIONALLY, THE PROJECT SHALL COMPLY WITH THE ENVIRONMENTAL PROTECTION AGENCY'S MOST CURRENT NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) MS4 PERMIT REQUIREMENTS AND ANY LOCAL STORMWATER REQUIREMENTS. THE FOLLOWING PLANS AND DOCUMENTS SHALL BE SUBMITTED FOR REVIEW:...

STOUGHTON PLANNING BOARD RULES & REGULATIONS GOVERNING FEES AND FEE SCHEDULES
SECTION 3. APPLICATION FEES, TABLE 3.1: APPLICATION FEES, SITE PLAN REVIEW, \$500 PLUS \$.10/SQUARE FOOT OF GROSS BUILDING AREA AS DETERMINED BY ZONING BY-LAW

PREPARED FOR

THE CAPEN REYNOLDS FARM
USE & DEVELOPMENT COMMITTEE
10 PEARL STREET
STOUGHTON, MASSACHUSETTS 02072

PREPARED BY


Center Mount
Land Development, LLC
33 COMMERCIAL STREET
RAYNHAM, MASSACHUSETTS 02767
WEBSITE: www.centermountllc.com

PREPARED ON:
OCTOBER 29, 2020



JOHN C. SPINK, P.E.
CENTER MOUNT LAND DEVELOPMENT, LLC
MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER #30097

CAPEN REYNOLDS FARM			
760 PLEASANT STREET, STOUGHTON, MASSACHUSETTS 02072			
R E V I S I O N S			
NO.	DATE	DESCRIPTION	DR/CK
1	4/1/21	REVS. PER TOWN PLANNER COMMENTS	SO/JS
2	6/1/21	REVS. PER PLANNING BOARD HEARING	SO/JS
3	6/17/21	REVS. PER PLANNING BOARD HEARING	SO/JS
4	7/15/21	REVS. PER PLANNING BOARD HEARING	SO/JS

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		PROPERTY LINE ABUTTER
		MAJOR GROUND CONTOUR
		MINOR GROUND CONTOUR
		EDGE OF PAVEMENT
		CURB
		BUILDING
		DRAINAGE LINE
		GUARD RAIL
		CHAIN LINK FENCE
		GAS LINE
		WATER LINE
		SEWER LINE
		OVERHEAD WIRE
		TELEPHONE
		SEWER MANHOLE
		DRAIN MANHOLE
		CATCH BASIN
		TELEPHONE MANHOLE
		TEST BORING
		UTILITY POLE
		LIGHT POLE
		BOUND W/ DRILL HOLE
		IRON ROD
		WATER VALVE
		GAS VALVE
		HYDRANT
		PARKING SPACE COUNT
		HAYBALE
		SEWER CLEAN OUT
		SIGN/BOLLARD
		SIGN

ABBREVIATIONS	
ABBREV.	DESCRIPTION
B	BORING
BB	BITUMINOUS BERM
BIT.	BITUMINOUS
BIT. CONC.	BITUMINOUS CONCRETE
BLDG	BUILDING
BM	BENCH MARK
CB	CATCH BASIN
CBDH	CONCRETE BOUND DRILL HOLE
CC	CONCRETE CURB
CLF	CHAIN LINK FENCE
CO	CLEAN OUT
CONC.	CONCRETE
CPD	CONCRETE PAD
CS	COATED STEEL
DH	DRILL HOLE
DIA.	DIAMETER
DMH	DRAIN MANHOLE
DYL	DOUBLE YELLOW LINE
ELEV.	ELEVATION
ELEC.	ELECTRIC
EM	ELECTRIC METER
EOP	EDGE OF PAVEMENT
EXIST, EX.	EXISTING
FT	FOOT OR FEET
GG	GAS GATE
GW	GROUND WATER
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH PRESSURE
HWY	HIGHWAY
HYD	HYDRANT
INV., I	INVERT
IP.	IRON PIPE
L	LENGTH
LP	LIGHT POLE
LS	LANDSCAPING
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
NAVD	NORTH AMERICAN VERTICAL DATUM
NO	NUMBER
NTS	NOT TO SCALE
N/E	NOT ENCOUNTERED
N/F	NOW OR FORMERLY
OH	OVERHANG
OHW	OVERHEAD WIRE
PCC	PRECAST CONCRETE CURB
PERF	PERFORATED
PL	PROPERTY LINE
PVC	POLYVINYL CHLORIDE PIPE
R	RIM
(R)	RECORD
S	SLOPE
SBDH	STONE BOUND DRILL HOLE
SDWL	SINGLE DASHED WHITE LINE
SF	SQUARE FEET
SGC	SLOPED GRANITE CURB
SMH	SEWER MANHOLE
SWL	SINGLE WHITE LINE
TYP.	TYPICAL
UP	UTILITY POLE
WG/V	WATER GATE

NOTES

GENERAL:

UTILITIES:

1. THE CONTRACTOR SHALL NOTIFY "DIGSAFE" (1-888-DIGSAFE) AT LEAST 72 HOURS (3 BUSINESS DAYS) BEFORE EXCAVATING.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.

3. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS.

4. SITE SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

5. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

6. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER OR OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.

7. BUILDING HEIGHTS SHALL CONFORM TO LATEST ARCHITECTURAL DESIGN PLANS, BUT SHALL NOT EXCEED FIFTY (50) FEET.

8. THE FACILITY'S HOURS OF OPERATION WILL BE SUNDAY THROUGH THURSDAY 10:30 A.M. TO 11:00 P.M. AND FRIDAY AND SATURDAY 10:30 A.M. TO 12:00 A.M.

LAYOUT & MATERIALS:

EXISTING CONDITIONS INFORMATION:

1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.

2. CONCRETE BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.

3. TOPOGRAPHIC INFORMATION AND EXISTING SITE FEATURES WERE OBTAINED FROM A FIELD SURVEY PERFORMED BY CONCECO ENGINEERS & SCIENTISTS BETWEEN JULY 26, 2017 AND AUGUST 28, 2017.

4. THE PROPERTY IS REFERENCED BY THE TOWN OF RANDOLPH ASSESSOR AS ASSESSOR'S MAP 57 LOT BLOCK D LOT 4.2.

5. OWNER OF RECORD ACCORDING TO ASSESSORS RECORDS: NAI ENTERTAINMENT HOLDINGS LLC BOOK 28139, PAGE 459 CERTIFICATE OF TITLE NO. 165286 REGISTERED LAND

6. UNDERGROUND UTILITY LOCATION AS SHOWN HEREON ARE TAKEN FROM AVAILABLE RECORD AND FIELD INFORMATION AND ARE APPROXIMATE ONLY. BEFORE PLANNING ANY CONSTRUCTION, DIGSAFE AND THE VARIOUS UTILITY COMPANY ENGINEERING DEPARTMENTS SHOULD BE CONSULTED.

7. VERTICAL DATUM: NAVD 88.

8. THE PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 25021C0216E DATED JULY 17, 2012.

9. TREE SYMBOLS ARE FOR GRAPHIC PURPOSES ONLY AND DO NOT REPRESENT ACTUAL CANOPY LINES.

LANDSCAPING:

1. ALL AREAS CLEARED AND/OR DISTURBED SHALL BE BROUGHT TO WITHIN 4 INCHES OF FINAL GRADE AND FINISHED WITH 4 INCHES OF LOAM AND SEED EXCEPT WHERE OTHER FINISHES ARE PROPOSED (REFER TO PLANS).

LOCUS MAP

Scale: 1" = 1000'

SITE DEVELOPMENT TABLES

TOTAL SITE AREA: 320,531 S.F. (7.358 ACRES)

ZONING TABLE

ZONE: (RC) RESIDENTIAL-SUBURBAN C
USES: FARMHOUSE

	REQUIRED	PROVIDED
LOTS		
MIN. AREA	40,000 S.F.	320,531 S.F.
MIN. WIDTH	100 FT	359.46 FT
MIN. FRONTAGE	100 FT	1,258.30 FT
MIN. DEPTH	120 FT	670.25 FT
MIN. OPEN SPACE	50%	92.71%
BUILDINGS		
MAX. BUILDING LOT COVERAGE	25%	1.22%
MIN. FRONT YARD	35 FT	24.45 FT*
MIN. SIDE YARD	15 FT	31.11 FT
MIN. REAR YARD	40 FT	591.39 FT
MAX. BUILDING HEIGHT	35' / 3 STORIES	2 STORIES
* PRE-EXISTING NON-CONFORMANCE		

PARKING SUMMARY

REQUIRED
COMMUNITY FACILITY TOWN BUILDING, RECREATION, ETC.:

1 SPACE PER 400 S.F. GROSS FLOOR SPACE
4372 S.F. / 400 S.F. = 11 SPACES REQUIRED

PROPOSED
PROPOSED PARKING SPACES DIMENSIONS: 9'x19'

10 STANDARD SPACES PROPOSED
1 HANDICAP SPACE PROPOSED
TOTAL PROPOSED SPACES = 11 (10 STANDARD, 1 HANDICAP)

CONSTRUCTION SEQUENCE PLAN

- PRE-CONSTRUCTION ACTIVITIES
- PLACE EROSION CONTROL COMPOST FILTER SOCK AROUND PERIMETER OF CONSTRUCTION ZONE AND SECURE AS INDICATED ON EROSION CONTROL PLANS
 - CLEAR TREES, BRUSH AND SHRUBS WITHIN CONSTRUCTION ZONE AND REMOVE ORGANIC SOIL LAYER WHERE REQUIRED; PROTECT TREES AS REQUIRED ON THE LAYOUT PLAN
- PHASE 1: PARKING AREAS
- CONSTRUCT PARKING AREA AND REAR DRIVEWAY TO FINISHED GRADE
 - INSTALL OFF-SITE CURBING ALONG PLEASANT STREET AND LOAM & SEED PREVIOUS GRAVEL AREAS
 - RECONSTRUCT STONE WALLS AS REQUIRED
- PHASE 2: PUBLIC GARDENS
- INSTALL WATER AND ELECTRICAL LINES AND TIE INTO EXISTING FARM HOUSE AS REQUIRED BY BUILDING DEPARTMENT
 - CONSTRUCT ALL WALKWAYS AND STAIRCASE
 - INSTALL RAIN GARDENS AND DRAINAGE SWALE
 - CONSTRUCT PERGOLA AND ASSOCIATED PLANTING BEDS
 - STABILIZE DISTURBED GROUND AND INSTALL LANDSCAPING
 - INSTALL TRASH AND RECYCLING FACILITIES
- Phase 3: DOG PARK
- INSTALL ALL FENCING ASSOCIATED WITH DOG PARK
 - PROVIDE GROUND COVER FOR ENTIRE DOG PARK
- POST CONSTRUCTION ACTIVITIES - ALL PHASES
- REMOVE UNNEEDED EQUIPMENT FROM SITE AS PROJECT NEARS COMPLETION
 - FINALIZE LANDSCAPING AND CLEAR UNUSED CONSTRUCTION MATERIAL FROM SITE
 - REMOVE EROSION CONTROLS AND REPAIR ANY AREAS DAMAGED BY REMOVAL

DR/CK

REVISIONS

DESCRIPTION

REV. PER TOWN PLANNER

COMMENTS

SO/JS

SO/JS

SO/JS

SO/JS

DATE

4/1/21

6/1/21

6/17/21

NO.

1

2

3

CAPEN REYNOLDS FARM USE & DEVELOPMENT COMMITTEE 10 PEARL STREET STOUGHTON, MASSACHUSETTS 02072

NOTES & LEGEND

CAPEN REYNOLDS FARM 760 PLEASANT STREET STOUGHTON, MASSACHUSETTS 02072

PERMITTING PLANS

DATE

10/29/2020

DESIGNED: RTL

CHECKED: SMO

DRAFTED: RTL

IN CHARGE: JCS

SCALE:

AS SHOWN

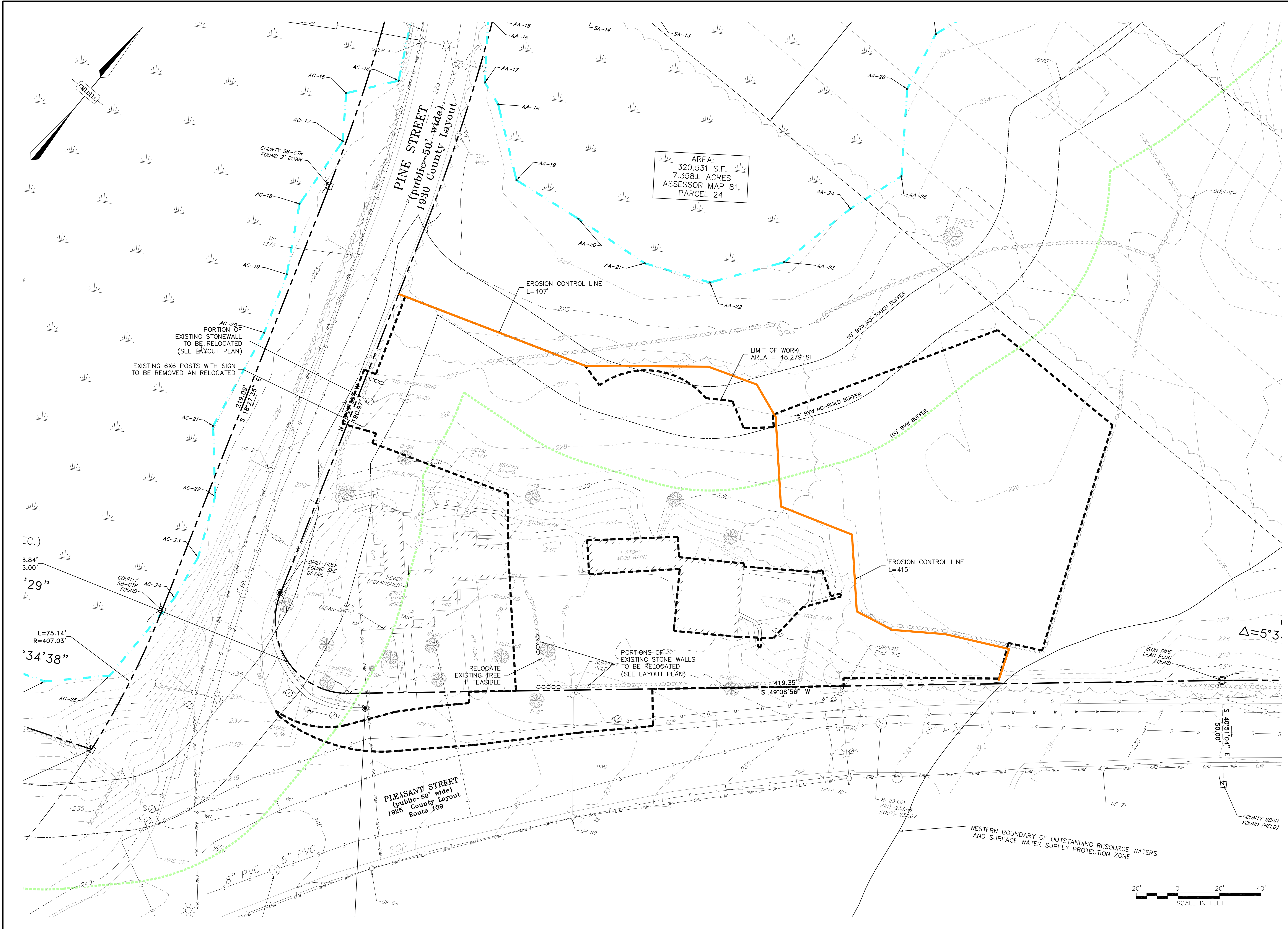
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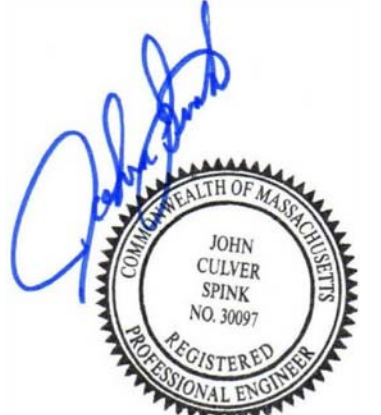
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SHEET NO.

2

OF 10





REVISIONS	
NO.	DATE
1	4/1/21
2	6/1/21
3	6/17/21

PREPARED FOR:

CAPEN REYNOLDS FARM
USE & DEVELOPMENT COMMITTEE
10 PEARL STREET
STOUGHTON, MASSACHUSETTS 02072

PROJECT:

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STOUGHTON, MASSACHUSETTS 02072

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10/29/2020

DESIGNED: RTL

CHECKED: SMO

DRAFTED: RTL

IN CHARGE: JCS

SCALE:

1" = 20'

PROJECT NO.

18124.0

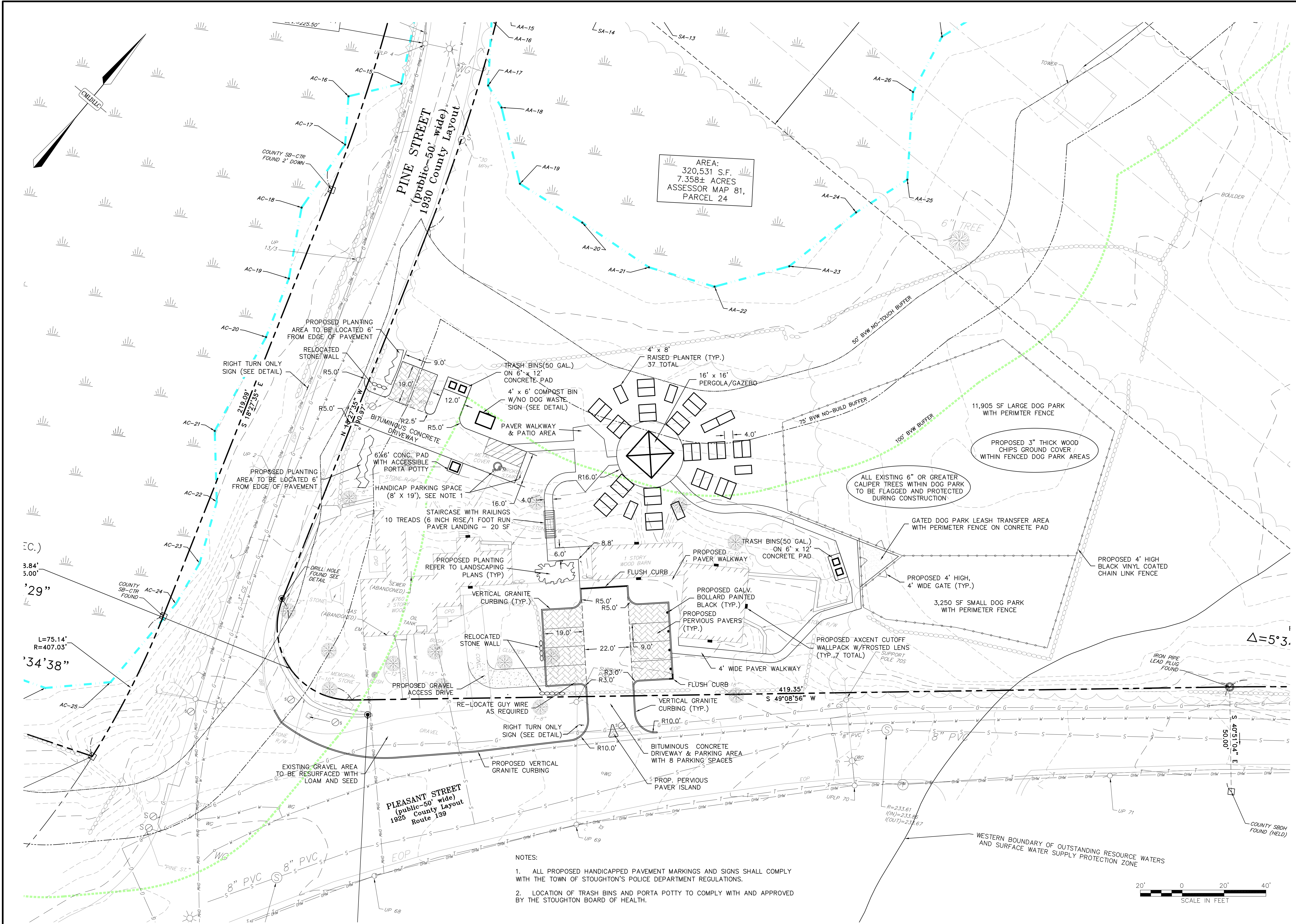
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3 OF 10

DEMOLITION AND EROSION CONTROL PLAN

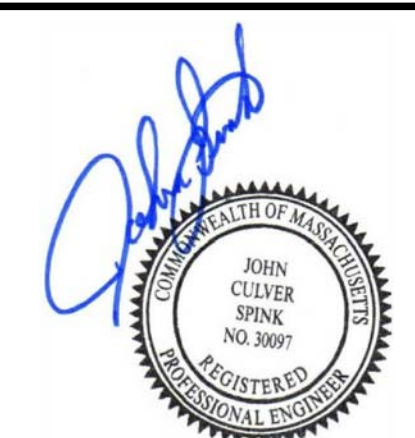
PERMITTING PLANS

Center Mount
Land Development, LLC



AREA:
320,531 S.F.
7.358± ACRES
ASSESSOR MAP 81,
PARCEL 24

- NOTES:
1. ALL PROPOSED HANDICAPPED PAVEMENT MARKINGS AND SIGNS SHALL COMPLY WITH THE TOWN OF STOUGHTON'S POLICE DEPARTMENT REGULATIONS.
 2. LOCATION OF TRASH BINS AND PORTA POTTY TO COMPLY WITH AND APPROVED BY THE STOUGHTON BOARD OF HEALTH.



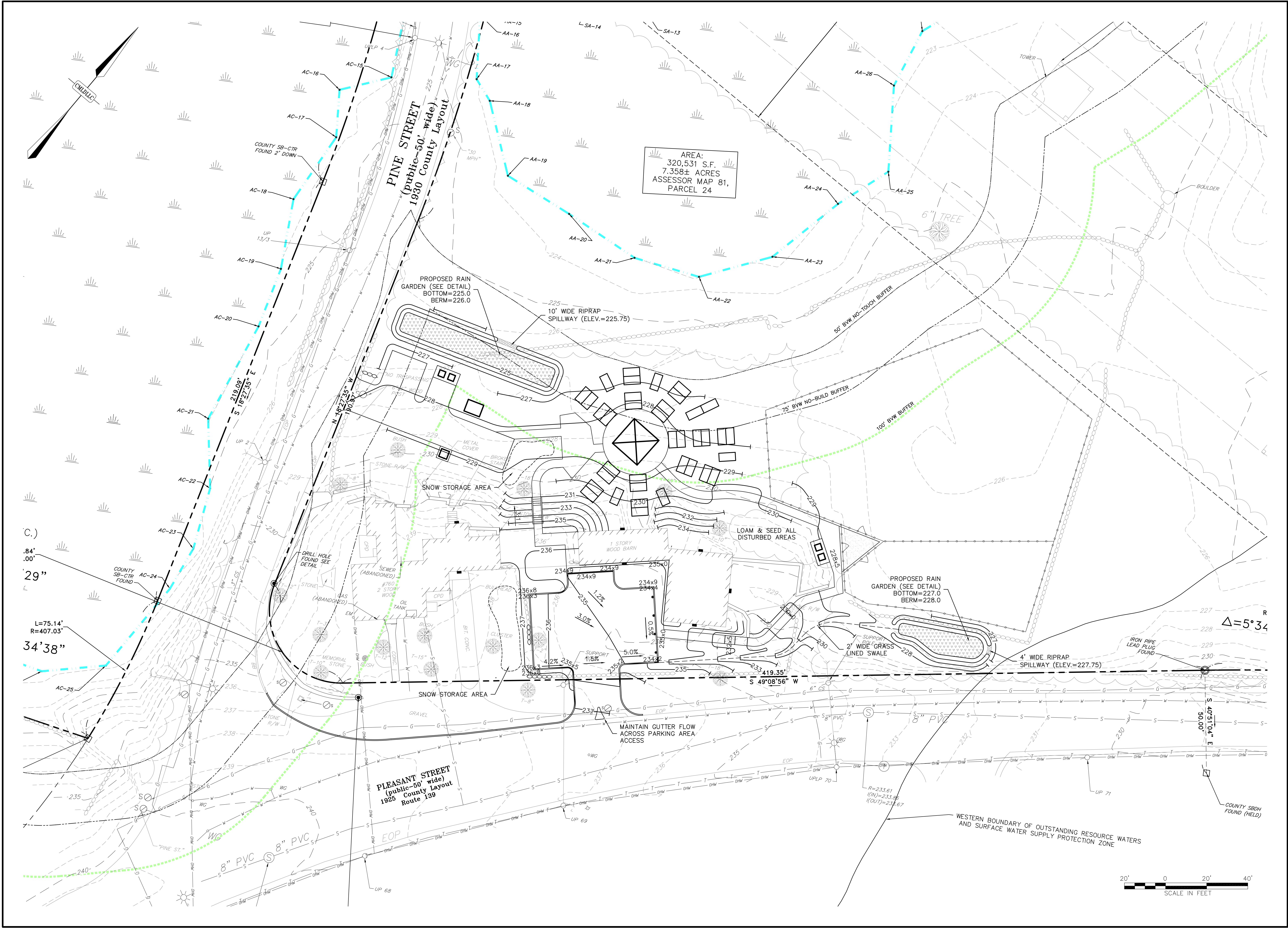
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SO/JS	SO/JS	REV. PER PLANNING BOARD HEARING	6/1/21	2
SO/JS	SO/JS	REV. PER PLANNING BOARD HEARING	6/17/21	3
SO/JS	SO/JS	REV. PER PLANNING BOARD HEARING	7/15/21	4

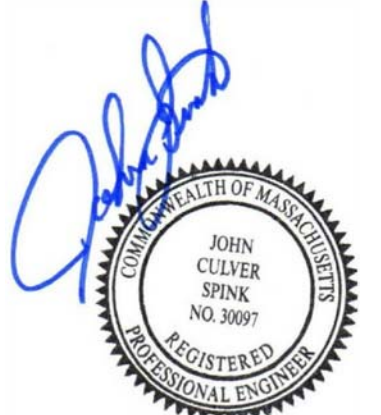
PREPARED FOR:
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PROJECT:
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DATE	10/29/2020
DESIGNED: RTL	CHECKED: SMO
DRAFTED: RTL	IN CHARGE: JCS
SCALE:	1" = 20'
PROJECT NO.	18124.0
SHEET NO.	4





REVISIONS	
NO.	DATE
1	4/1/21
2	6/1/21
3	6/17/21

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USE & DEVELOPMENT COMMITTEE
10 PEARL STREET
STOUGHTON, MASSACHUSETTS 02072

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CAPEN REYNOLDS FARM
760 PLEASANT STREET
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10/29/2020

DESIGNED: RTL

CHECKED: SMO

DRAFTED: RTL

IN CHARGE: JCS

SCALE:

1" = 20'

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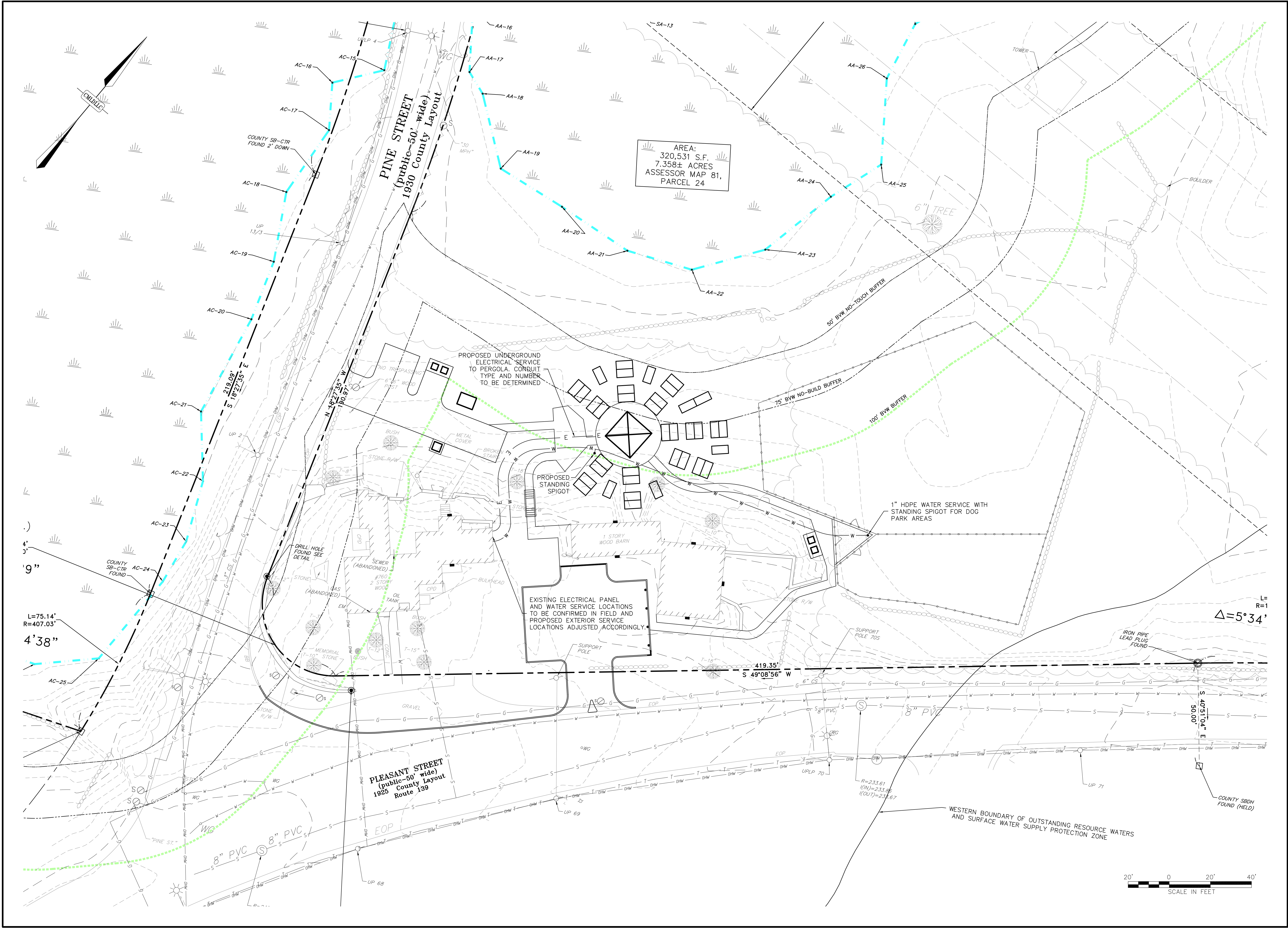
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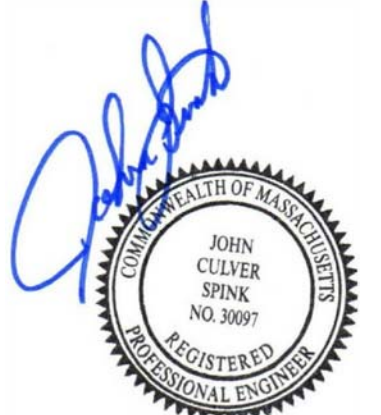
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5 OF 10

GRADING AND DRAINAGE PLAN

PERMITTING PLANS





REVISIONS	
NO.	DATE
1	4/1/21
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3	6/17/21

PREPARED FOR:

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USE & DEVELOPMENT COMMITTEE
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PROJECT:

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760 PLEASANT STREET
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SCALE:

1" = 20'

PROJECT NO.

18124.0


SHEET NO.

6

OF 10

UTILITY PLAN

PERMITTING PLANS



Center Mount
Land Development, LLC

DATE

10/29/2020

DESIGNED:	RTL	CHECKED:	SMO
DRAFTED:	RTL	IN CHARGE:	JCS

SCALE:

1" = 20'

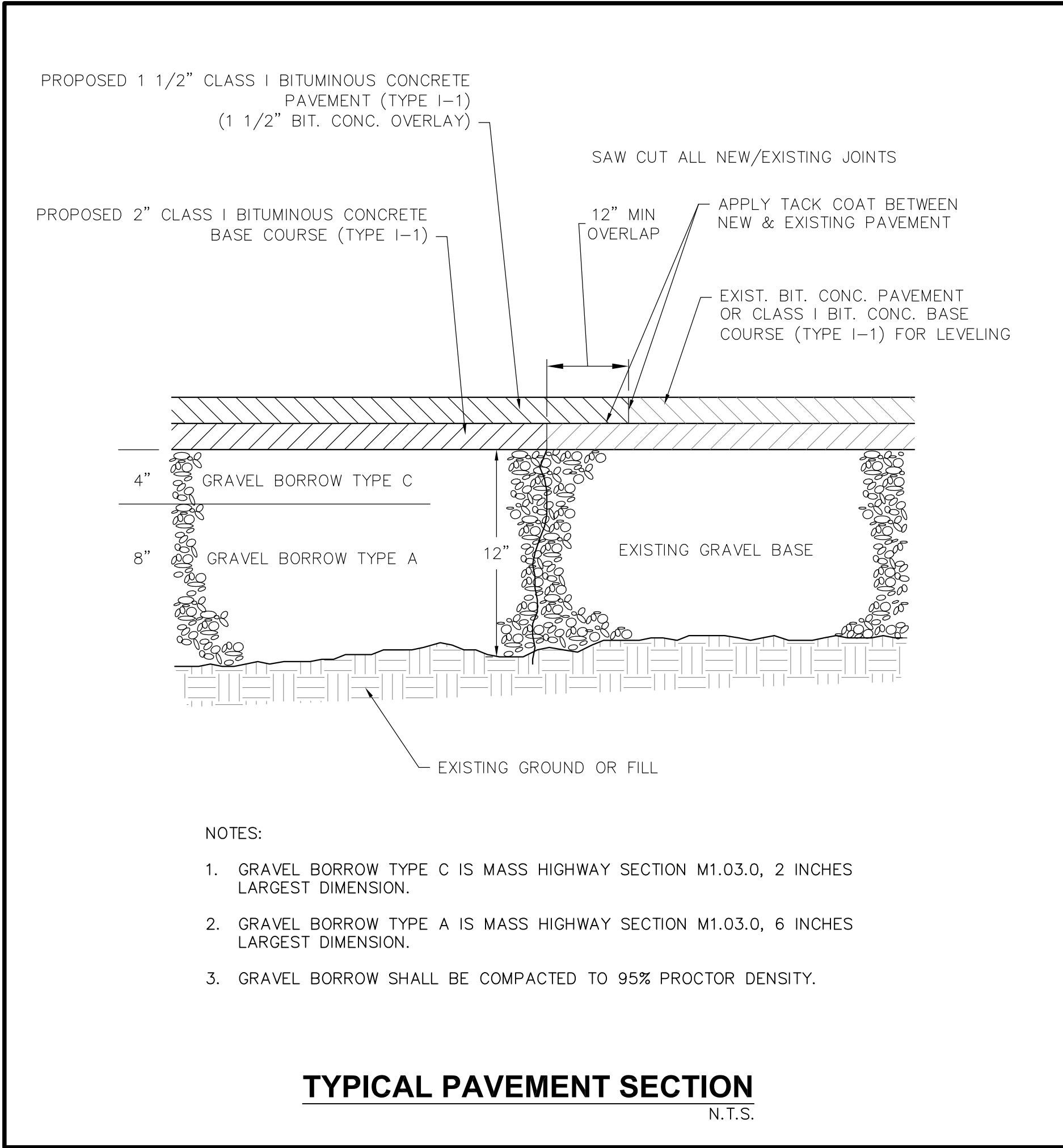
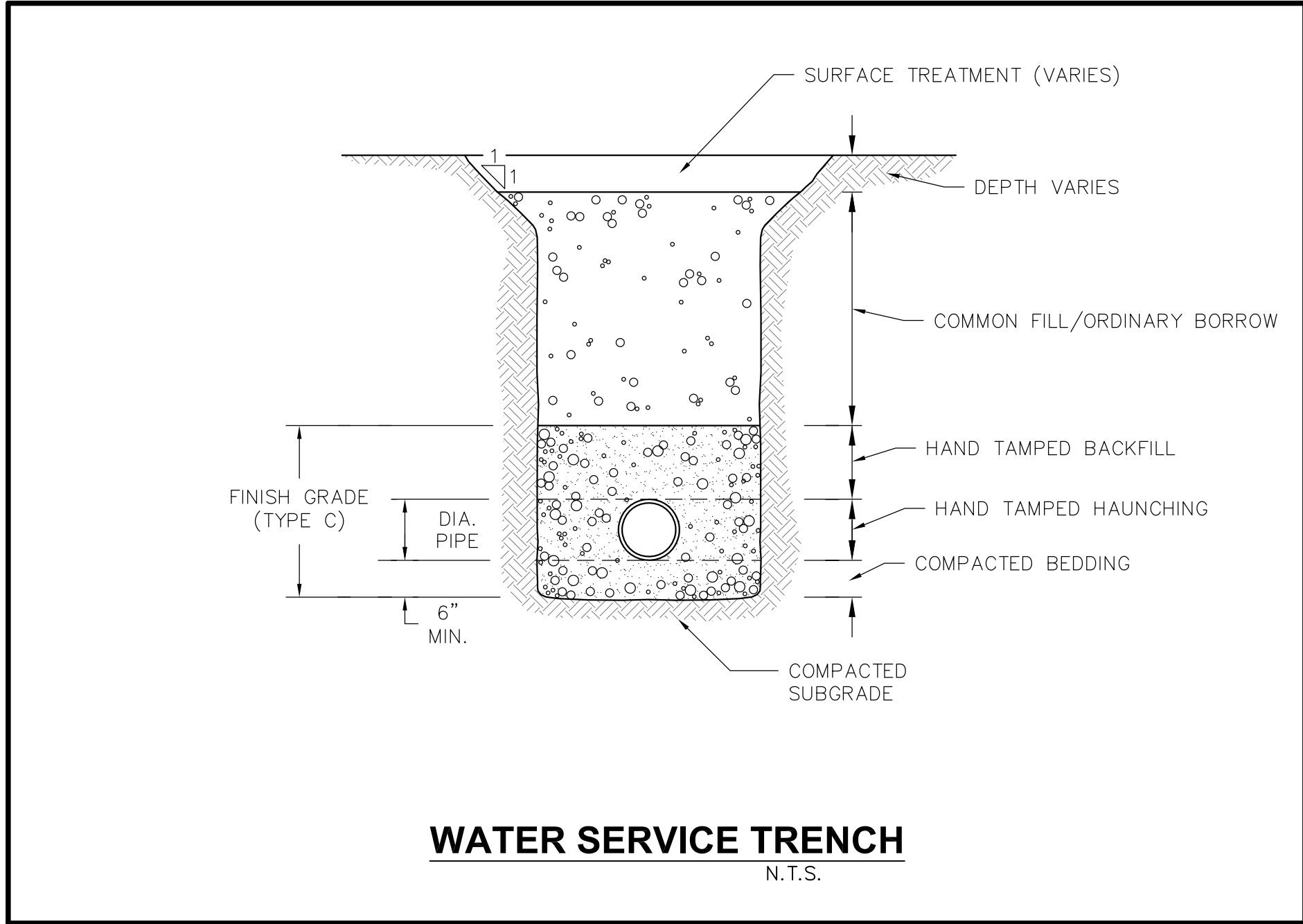
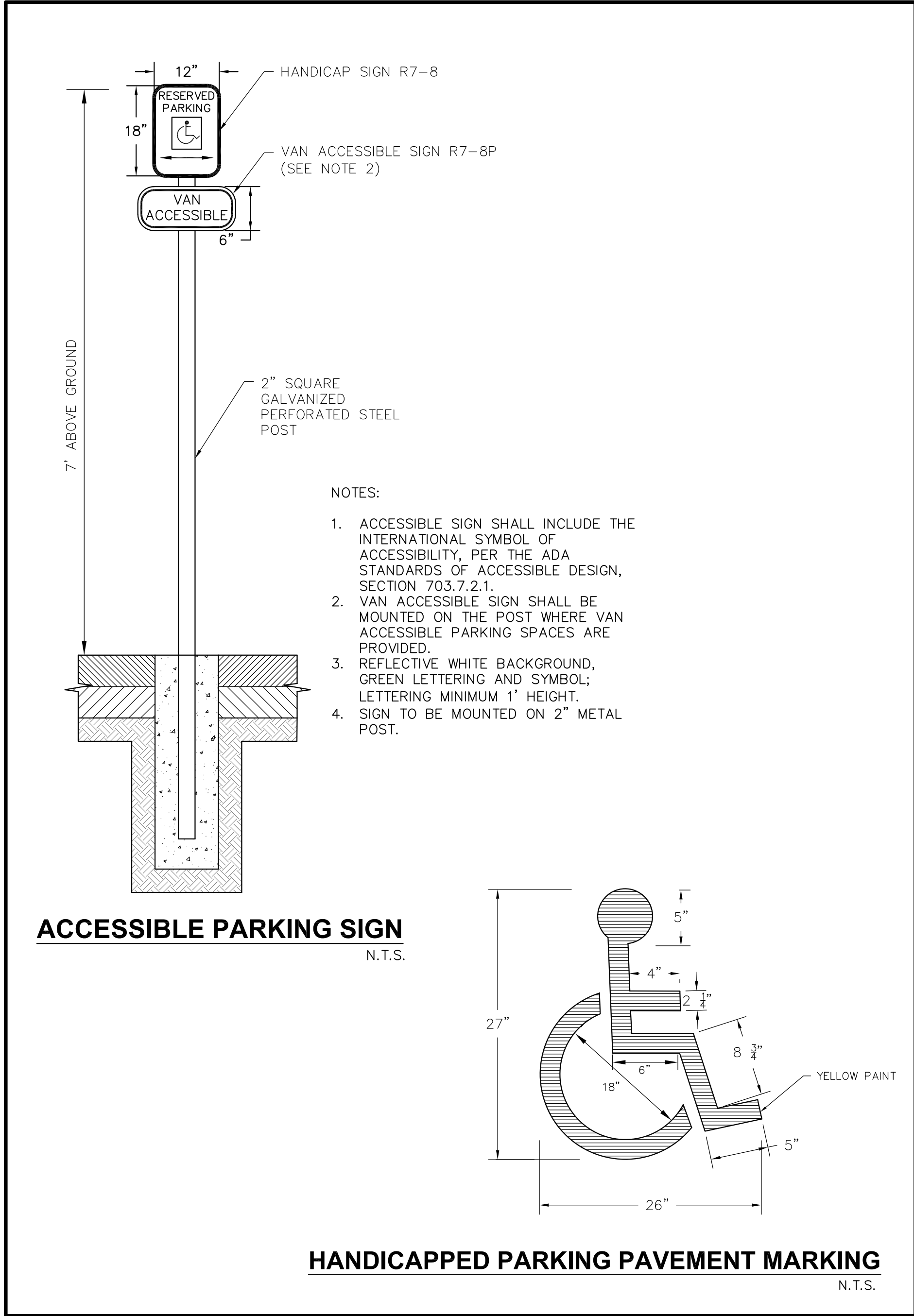
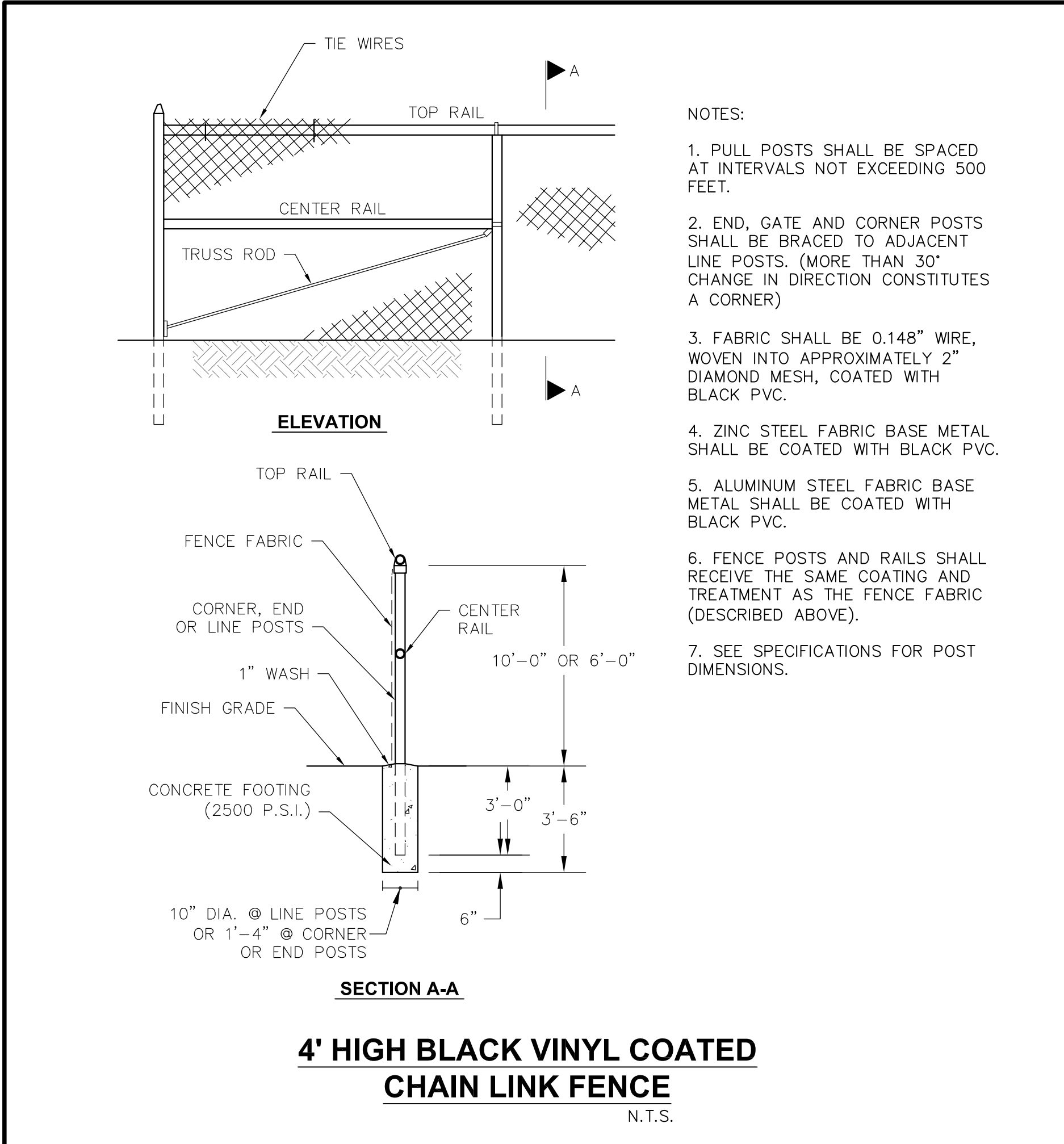
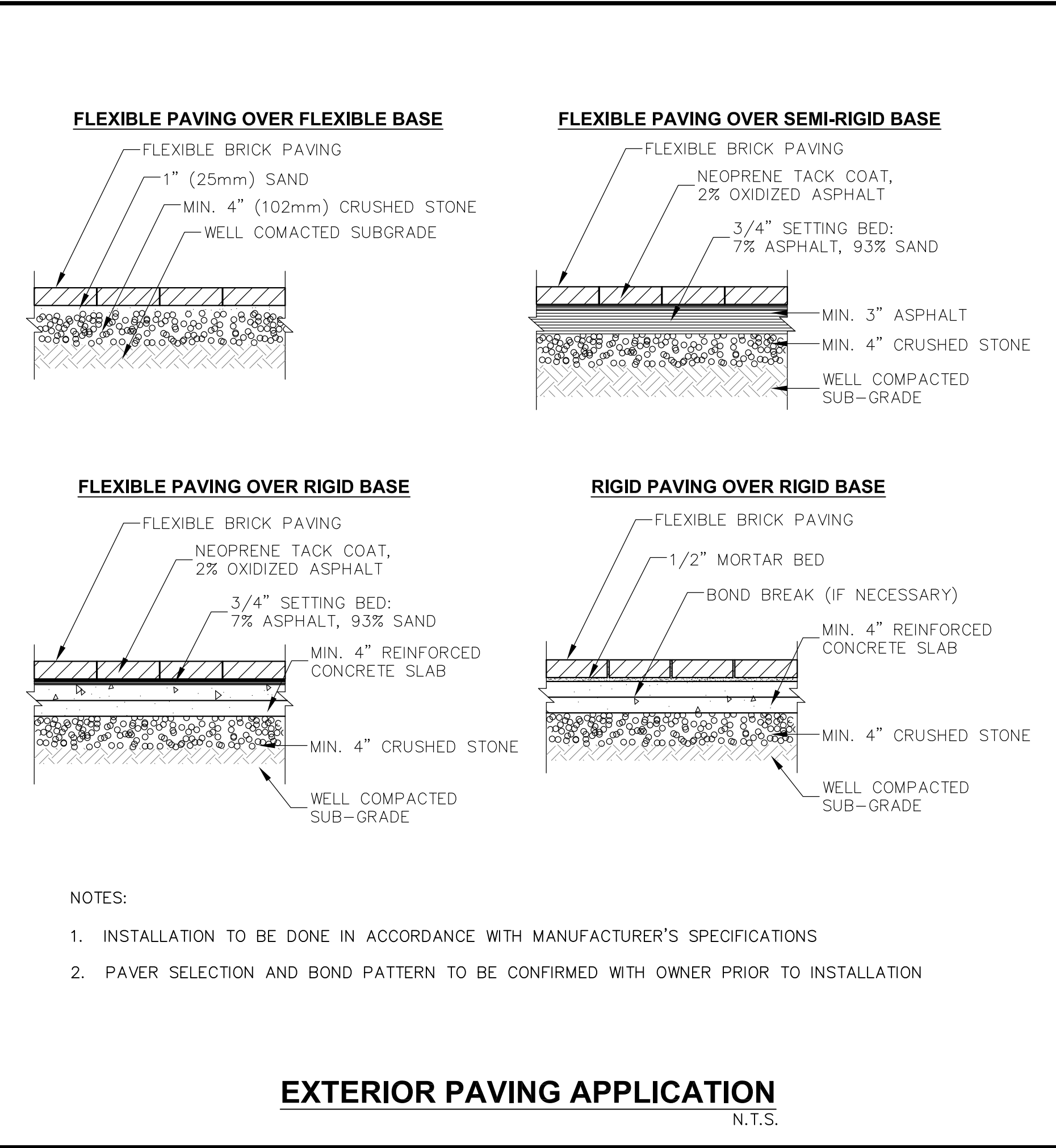
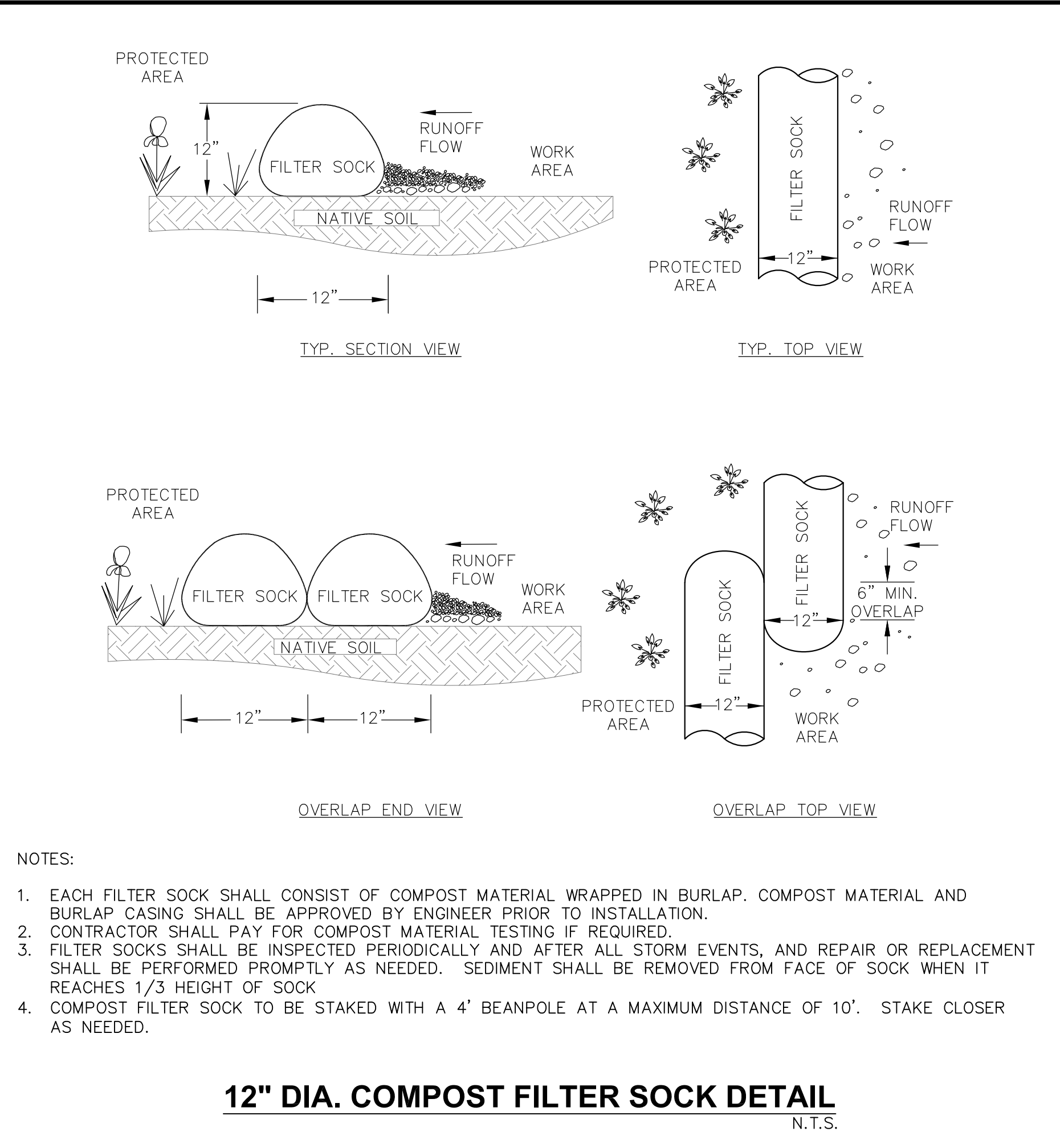
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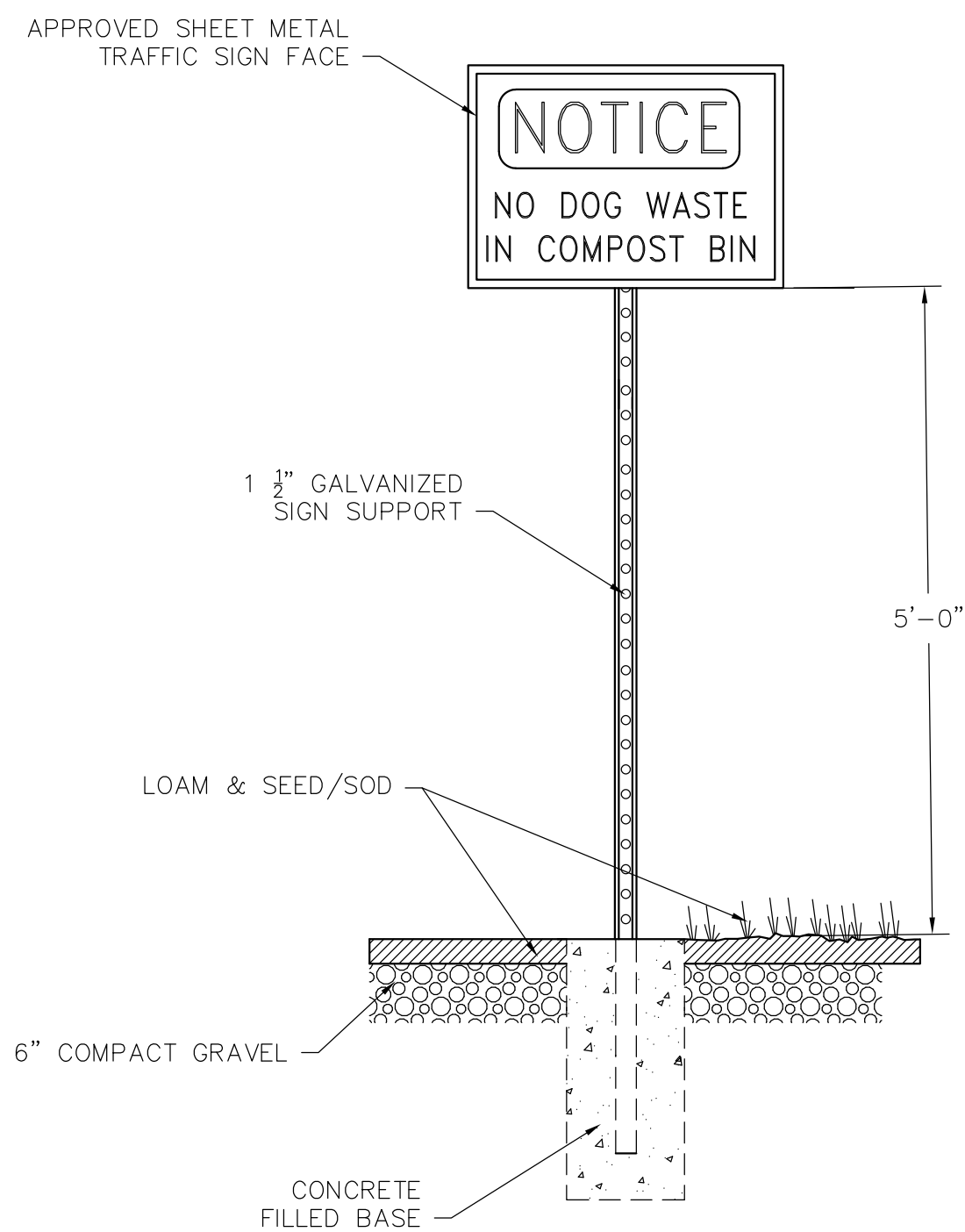
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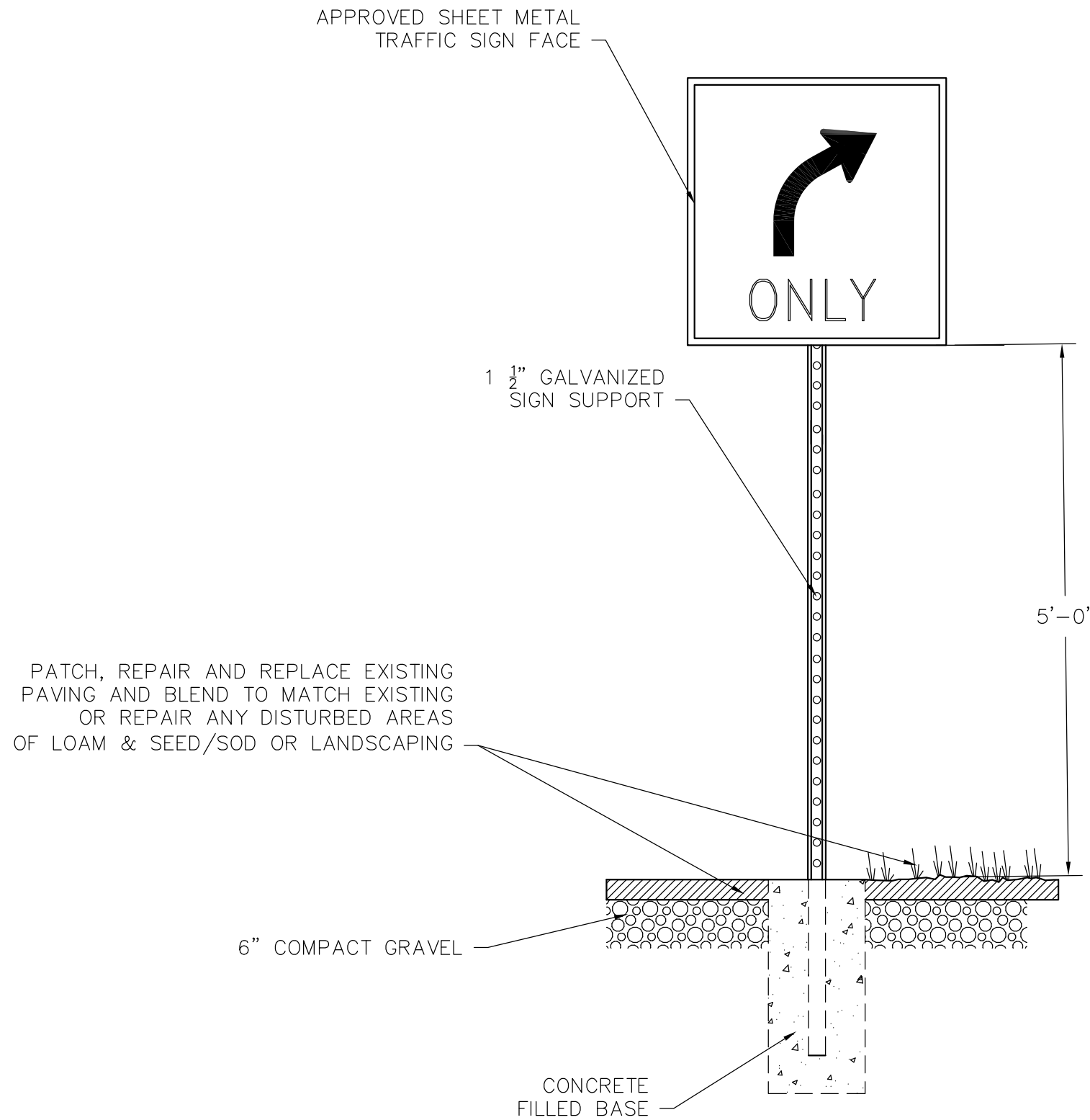
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OF 10

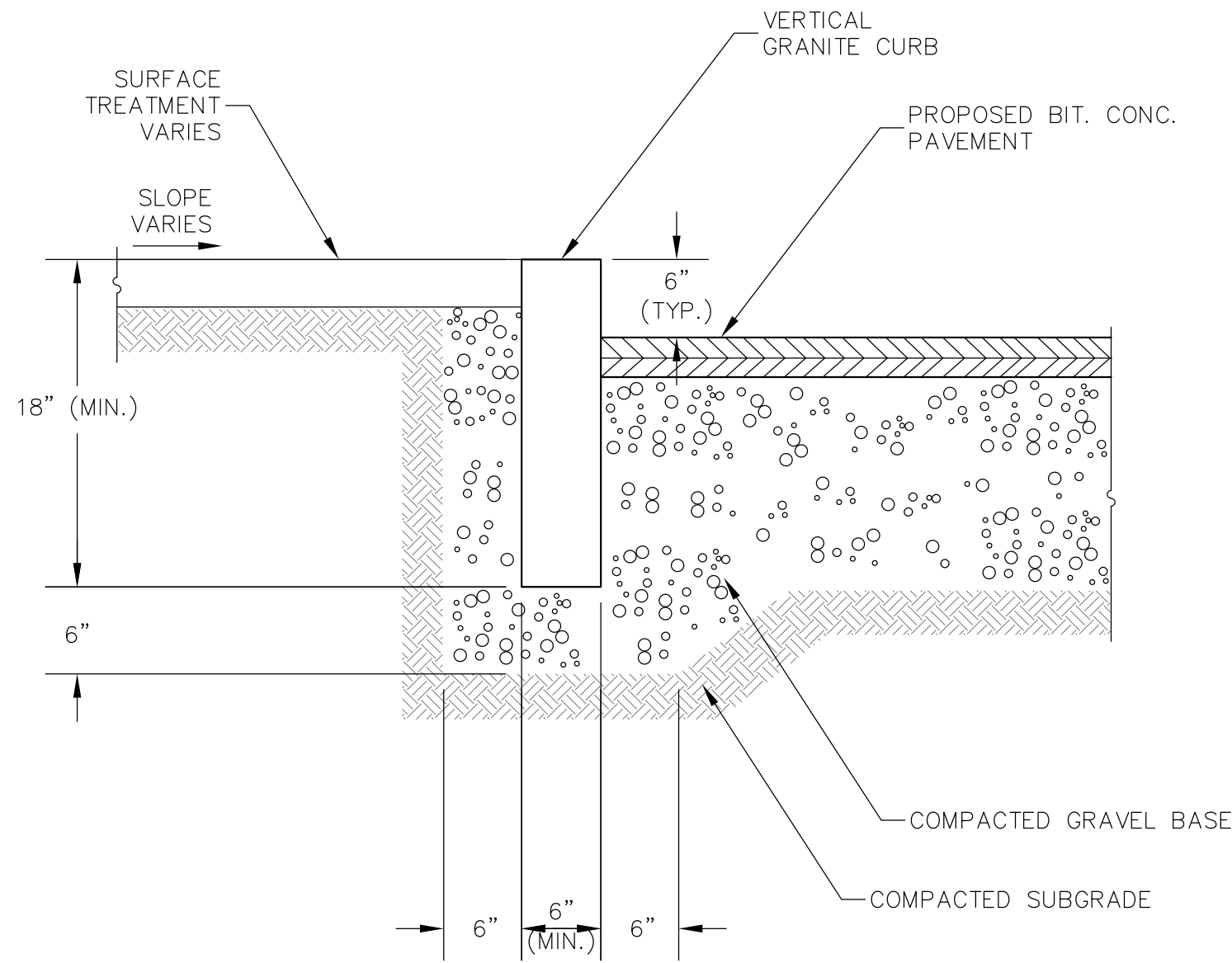




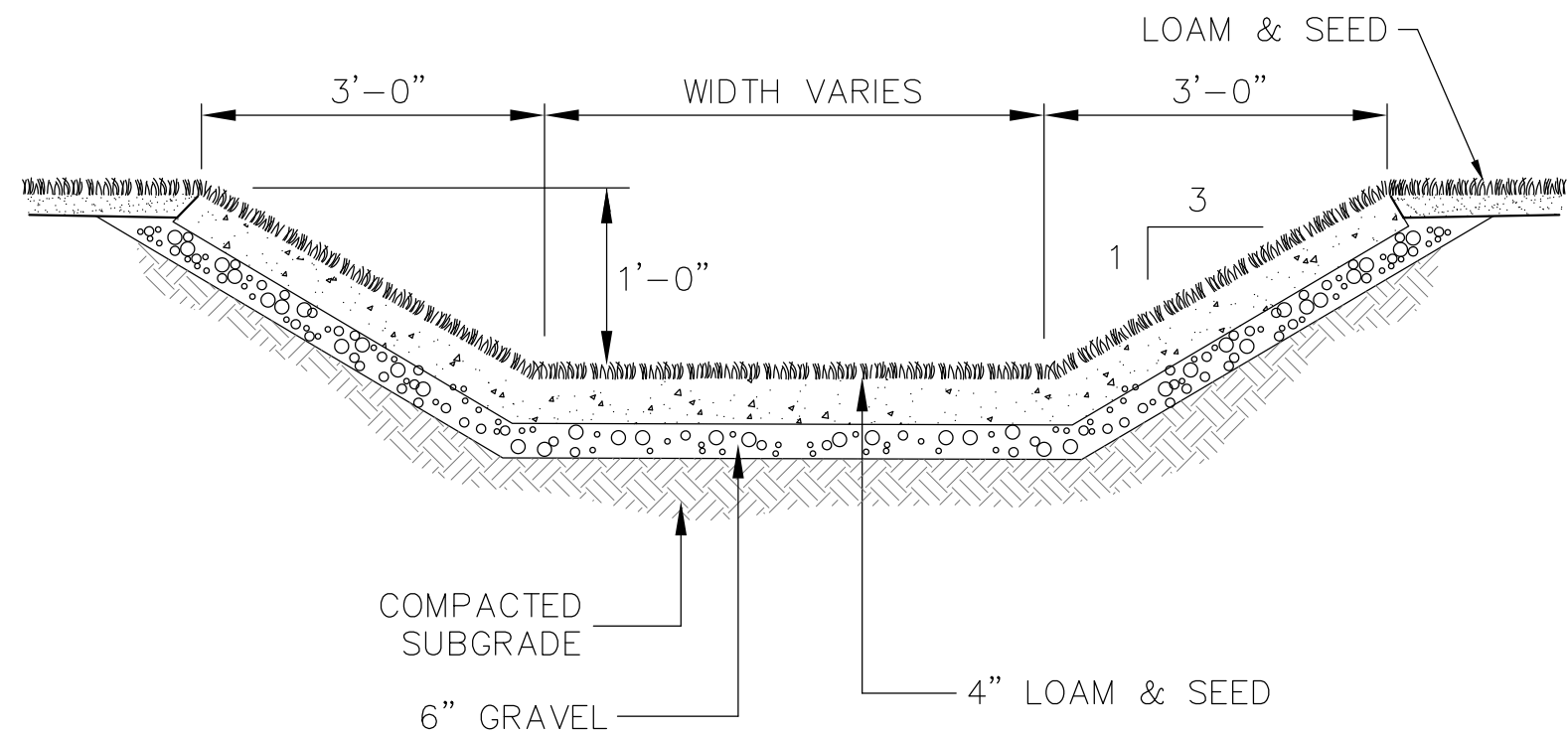
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N.T.S.



RIGHT TURN SIGN (R3-5r)
N.T.S.

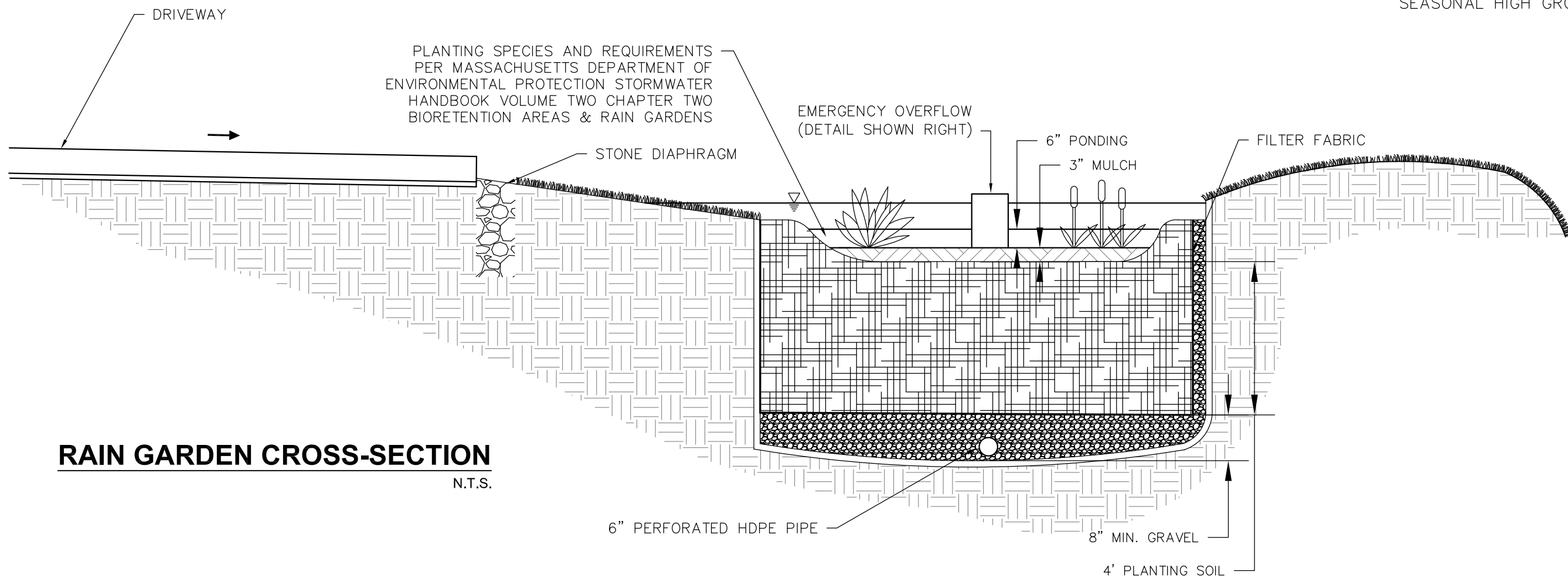


VERTICAL GRANITE CURB (VGC)
N.T.S.

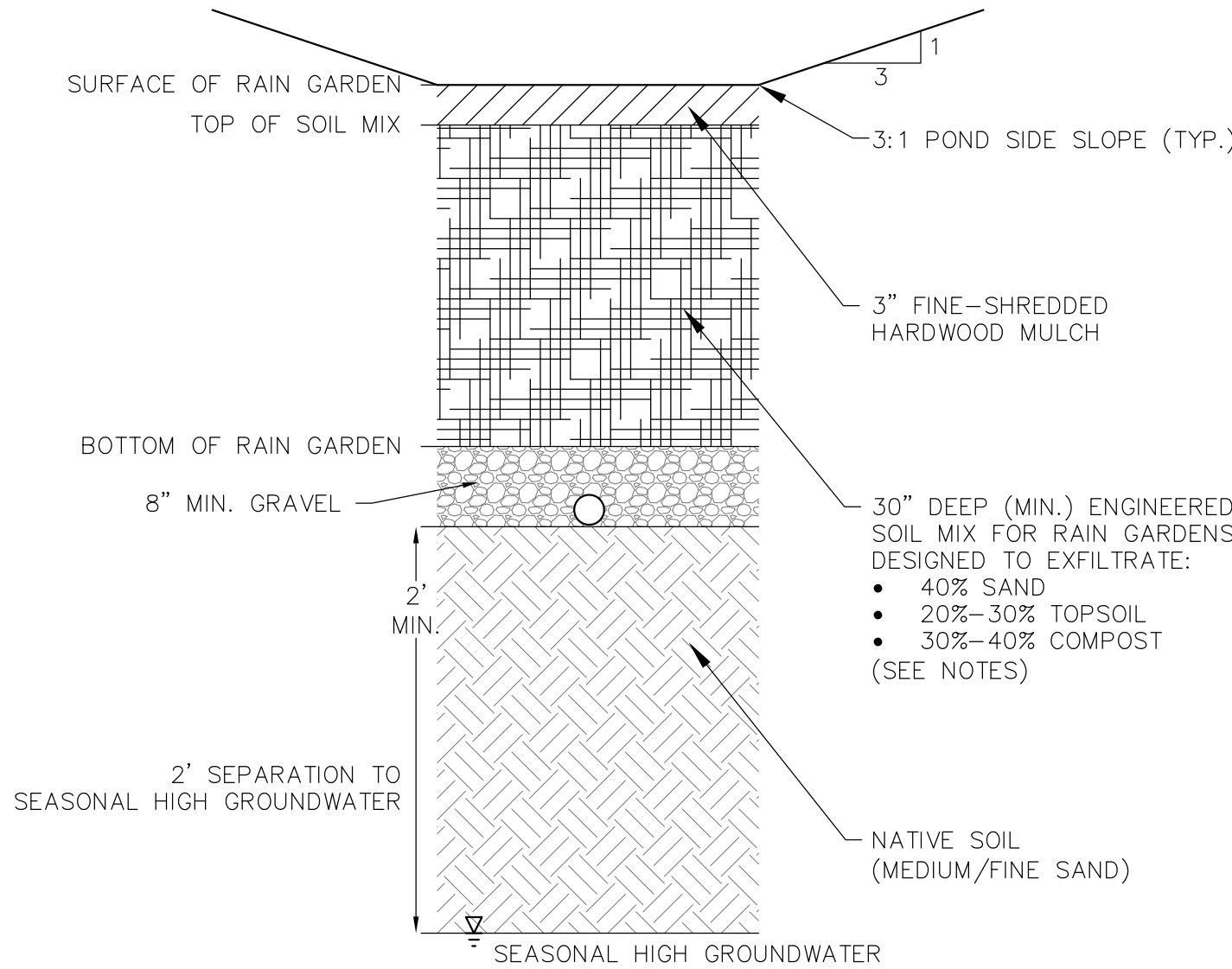


GRASS SWALE
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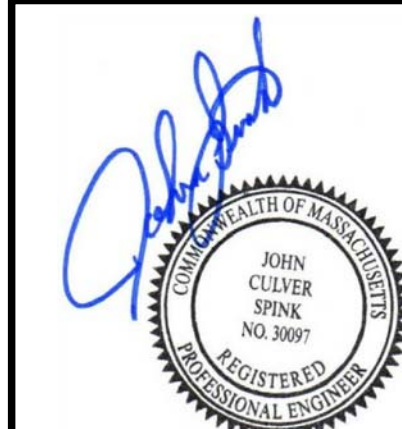
- NOTES:
1. DETAIL AND SPECIFICATIONS FROM THE MASSACHUSETTS STORMWATER HANDBOOK, VOLUME 2, CHAPTER 2, TREATMENT BMPs "BIORETENTION AREAS & RAIN GARDENS" GUIDELINE.
 2. THE ENGINEERED SOIL MIX MUST BE UNIFORM, FREE OF STONES, STUMPS, ROOTS, OR SIMILAR OBJECTS LARGER THAN 2". CLAY CONTENT: LESS THAN 5%. SOIL pH: 5.5-6.5. ORGANIC CONTENT: 1.5%-3%. SOLUBLE SALTS: 500 PPM (MAX.).
 3. THE SAND COMPONENT OF THE MIX SHALL BE GRAVELLY SAND THAT MEETS ASTM D 422 WITH THE FOLLOWING PERCENT PASSING (SIEVE SIZE): 100% (2-INCH), 70-100% (3/4-INCH), 50-80% (1/4-INCH), 15-40% (U.S. NO. 40), 0-3% (U.S. NO. 200).
 4. THE TOPSOIL COMPONENT SHALL BE A SANDY LOAM, LOAMY SAND, OR LOAM TEXTURE.
 5. THE COMPOST COMPONENT SHALL BE PROCESSED FROM YARD WASTE IN ACCORDANCE WITH MASSDEP GUIDELINES AND SHALL NOT CONTAIN BIOSOLIDS.
 6. SHGW: SEASONAL HIGH GROUNDWATER



RAIN GARDEN CROSS-SECTION
N.T.S.



RAIN GARDEN SOIL DETAIL
N.T.S.



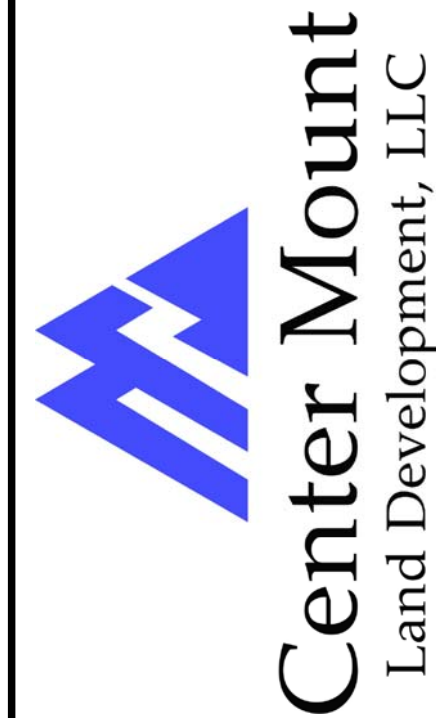
REVISIONS		DR/CK	DESCRIPTION
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2	6/1/21		
3	6/17/21		

PREPARED FOR: CAPEN REYNOLDS FARM
USE & DEVELOPMENT COMMITTEE
10 PEARL STREET
STOUGHTON, MASSACHUSETTS 02072

DRAWING: CONSTRUCTION DETAILS

PROJECT: CAPEN REYNOLDS FARM
760 PLEASANT STREET
STOUGHTON, MASSACHUSETTS 02072

PLAN SET: PERMITTING PLANS



DATE	10/29/2020
DESIGNED: RTL	CHECKED: SMO
DRAFTED: RTL	IN CHARGE: JCS
SCALE:	N.T.S.
PROJECT NO.	18124.0
SHEET NO.	8



ACER RUBRUM RED SUNSET



AMELANCHIER GRANDIFLORA AUTUMN BRILLIANCE



BETULA NIGRA HERITAGE



JUNIPERUS VIRGINIANA EMERALD SENTINEL



ARONIA ARBUTIFOLIA BRILLIANTISSIMA



CALYCANTHUS FLORIDUS



HAMAMELIS VERNALIS



HYDRANGEA ARBORESCENS ANNABELLE



ILEX GLABRA SHAMROCK



ILEX VERTICILLATA MARYLAND BEAUTY



ILEX VERTICILLATA SOUTHERN GENTLEMAN



ITEA VIRGINICA HENRY'S GARNET



JUNIPERUS CONFERTA BLUE PACIFIC



RHUS AROMATIC "GRO-LOW"



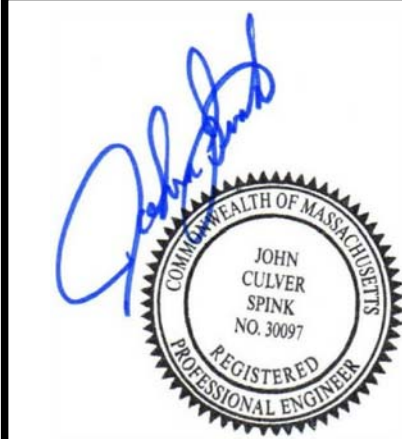
VIBURNUM DENTATUM AUTUMN JAZZ



VIBURNUM NUDUM WINTERTHUR



VIBURNUM PRUNIFOLIUM



REVISIONS		DESCRIPTION		DR/CK
NO.	DATE	REVS. PER TOWN PLANNER	COMMENTS	SO/JS
1	4/1/21	REVS. PER PLANNING BOARD	HEARING	SO/JS
2	6/1/21	REVS. PER PLANNING BOARD	HEARING	SO/JS
3	6/17/21	REVS. PER PLANNING BOARD	HEARING	SO/JS

CAPEN REYNOLDS FARM USE & DEVELOPMENT COMMITTEE 10 PEARL STREET STOUGHTON, MASSACHUSETTS 02072		LANDSCAPING DETAILS	
PREPARED FOR:		DRAWING:	

CAPEN REYNOLDS FARM 760 PLEASANT STREET STOUGHTON, MASSACHUSETTS 02072		PERMITTING PLANS	
PROJECT:		PLAN SET:	



Center Mount
Land Development, LLC

DATE	10/29/2020
DESIGNED: RTL	CHECKED: SMO
DRAFTED: RTL	IN CHARGE: JCS
SCALE:	N.T.S.
PROJECT NO.	18124.0
SHEET NO.	9 OF 10



TOWN OF STOUGHTON

Massachusetts
MA 02072

PLANNING BOARD

Site Plan Approval for
760 Pleasant Street (Capen Reynolds)
Case SP # 20-06

Date: September 23, 2021
Applicant: Town of Stoughton
10 Pearl Street
Stoughton, MA 02072
Owner: Town of Stoughton
10 Pearl Street
Stoughton, MA 02072
Representative: Shane Oates
Center Mount Land Development, LLC
33 Commercial Street
Raynham, MA 02767
Property: 760 Pleasant Street (Assessor's Map 81, Lot 24)

I) Project Summary

The proposed project includes the construction of community gardens and gated dog park with associated parking areas, walkways, landscaping, site grading, low impact drainage facilities and water and electrical service extensions.

II) Procedural History

- A) Application for Site Plan Approval was made by the above referenced applicant and owners and filed with the Planning Board on November 6, 2020.
- B) The Site Plan submitted for review to the Planning Board is titled "Capen Reynolds Farm Permitting Plans, 760 Pleasant Street, Stoughton, Massachusetts" prepared by Center Mount Land Development, LLC, 33 Commercial Street, Raynham, MA 02767, dated October 29, 2020 and revised through July 15, 2021.
- C) The land shown on the Site Plan is located off of Pleasant Street and Pine Street and is shown on Assessor's Map 81, Lot 24 (the "Property") and is located in the Residence C (RC) zoning district and consists of approximately 35.085 acres of lot area.

1

2

3

11. All required inspection fees shall be paid through the Engineering Department prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first in accordance with the fee schedule dated March 23, 2017.
12. The cost of any necessary outside testing, inspection or other services required by any town department as part of the development process for the project shall be borne by the applicant and the timing of payment thereof shall be determined by the requesting source.
13. Any required easements, licenses, permits or grants of usage required as part of the development process for the project shall be obtained by the applicant prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first.
14. The Applicant shall submit final construction plans to the Engineering Department and the Public Works Department prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first.
15. Required soil and erosion control measures shall be erected and serviceable prior to any site activity. For purposes of controlling erosion, all grades exposed for greater than a 30-day period shall be stabilized.
16. The Applicant shall be responsible for ensuring that any trucks involved in hauling materials onto or off-site are properly covered and otherwise secured from spilling material along any street outside the site. Violation of this condition may lead to the discontinuation of construction activities and/or permits and fines.
17. Wetting and stabilization of exposed grades shall occur as necessary to suppress dust generation. The use of municipal water for wetting of exposed grades and for other purposes associated with this approved operation shall require the prior written authorization of the Stoughton Public Works Department. Copies of said authorization must be filed by the Applicant with the Planning Board and the Building Commissioner prior to its use. Otherwise, the potable water shall be transported to the site from a lawful source outside of the Town of Stoughton or provided by private well.
18. A Final As-Built Plan that is stamped and signed by the fully-licensed civil engineer shall be submitted to the Engineering Department and the Planning Department along with a letter that details any differences between the as-built plan and the approved plan prior to the issuance any certificate of occupancy.
19. An Operation & Maintenance Plan shall be updated to include overall site operation and maintenance. Items to be added shall include all access ways, parking areas, fences, walls, landscaping and drainage facilities. This document shall be recorded at the Registry of Deeds. Proof of recording shall be delivered to the Town Planner and Town Engineer prior to the issuance of a building permit.

4

- D) A public hearing on the Site Plan Application was held on May 13, 2021, June 10, 2021 and June 24, 2021, July 22, 2021, August 12, 2021 and September 23, 2021.

II) Application Submittals

1. The Site Plan submitted for review to the Planning Board is titled "Capen Reynolds Farm Permitting Plans, 760 Pleasant Street, Stoughton, Massachusetts" prepared by Center Mount Land Development, LLC, 33 Commercial Street, Raynham, MA 02767, dated October 29, 2020 and revised through July 15, 2021.
2. Drainage Report prepared by Doherty Engineering dated November 6, 2020.
3. Development Impact Report prepared by Richard Perry dated March 16, 2021 and revised through April 16, 2020.

III) Related Documents

1. Copy of the Legal Public Hearing notice from the edition of the Journal-Sun dated April 28, 2021 and May 5, 2021.
2. Certified List of Abutters dated November 6, 2020.
3. Comment letter from Sargent James O'Connor of the Stoughton Police Department dated November 24, 2020.
4. Zoning review letter from Jack Erickson, Building Commissioner dated December 10, 2020.
5. Comment letter from Sean Leahy of the Board of Health dated December 23, 2020.
6. Comment letter from Scott Breen of the Stoughton Fire Department dated December 30, 2020.
7. Comment letter from John Charafomous, Town Planner dated April 20, 2021.
8. Comment letter from Sargent James O'Connor of the Stoughton Police Department dated April 29, 2021.
9. Technical Review Letter from Craig Horsfall, Assistant Town Engineer dated May 5, 2021.
10. Email from Shane Oates of Center Mount Land Development, LLC dated June 1, 2021.
11. Email from Mark Zamanian dated June 2, 2021.
12. Technical Review Letter from Craig Horsfall, Assistant Town Engineer (Second Review) dated June 21, 2021.
13. Email from Tom Fitzgerald of the DPW dated July 15, 2021.

IV) Findings

1. The Planning Board finds that the applicant has submitted the required information for determination of approval of the Site Plan.
2. The Planning Board finds that the proposed use will not be detrimental to this district or the surrounding neighborhood and will not create noise, dust, odor or visual impacts that will have a negative effect.
3. After careful review of this project by the Board of Health, Building Department, Fire Department, Police Department, Conservation Commission, Department of Public Works and the Engineering Department, the Planning Board analyzed all the comments and reports received. There were several productive in-house meetings with the Applicant in conjunction with extensive professional technical reviews completed by the Engineering

Department throughout this process and provided due diligence on all aspects with a comprehensive approach to the impact of the development on the community.

4. The Planning Board, in granting the Applicant's request for a Site Plan Approval pursuant to the provisions of Section 10.6 "Site Plan Approval" found that the Applicant has met the conditions and the project will not result in any substantial detriment to the district.

V) Decision

A) General Conditions

1. This decision for Site Plan Approval and Special Permit shall expire in two (2) years from the filing date of this decision unless substantial construction has commenced. The expiration of this decision may be extended, for good cause, upon timely written request by the applicant at the discretion of the Planning Board.
2. Prior to commencement of construction, a revised full set of approved plans and calculations, showing any required changes to the Site Plan required by this decision shall be submitted to the Planning Board for its records. The Planning Board decision shall be scanned onto and incorporated into the approved Site Plan/Special Permit plan set on the last page of the plan and shall be submitted to the Planning Department.
3. Electronic PDF copies of the approved plans shall be submitted to the Engineering Department and the Planning Department following endorsement and recording. The plans shall also be submitted to the Engineering Department in AutoCAD format.
4. Any modification(s) affecting the approved site plan, this decision or any other action or condition approved under this decision shall be subject to the review and approval of the Planning Board prior to implementing said modification(s) on the ground. Minor modifications may not require an additional public hearing, which is at the discretion of the Planning Board.
5. The Applicant is responsible for the filing of this decision with the Registry of Deeds.
6. The Applicant shall hold a pre-construction meeting with the Engineering Department to coordinate the necessary inspections.
7. All applicable Zoning Bylaw requirements of the Town of Stoughton shall be satisfied.
8. The project shall be constructed in accordance with any approvals issued relative to this project from all applicable town boards, departments and commissions, who shall retain their respective authorities and oversight of such permits, approval and decisions.
9. No site activity shall take place at the property under the Site Plan and Special Permit without proper authorization and permitting from all local and state agencies, as required.
10. Construction shall be performed by contractors licensed to perform such work in the Town of Stoughton.

VII) Record of Vote

The following members of the Planning Board constituting a majority, hereby vote to approve the Site Plan based on the above stated facts, findings and conditions. They further voted to authorize the Vice-Chair to endorse the decision on their behalf.

On this day of September 23, 2021.

Joseph Scardino, Chairman (recused)

Daniel Kelly, Vice-Chair

Paul Demuez

Jonathan Gurland

Senesie Kabba

Cc: Town Clerk:
Applicant:
Interested Parties:

CERTIFICATION:

The Planning Board certifies that a copy of this decision has been filed with the Town Clerk of the Town of Stoughton on September 27, 2021.

FOR THE PLANNING BOARD

Daniel Kelly, Vice-Chair

Dan Kelly, Vice-Chair

OWNER & APPLICANT:

TOWN OF STOUGHTON
10 PEARL STREET
STOUGHTON, MASSACHUSETTS 02072

PREPARED FOR:

THE CAPEN REYNOLDS FARM
USE & DEVELOPMENT COMMITTEE
10 PEARL STREET
STOUGHTON, MASSACHUSETTS 02072

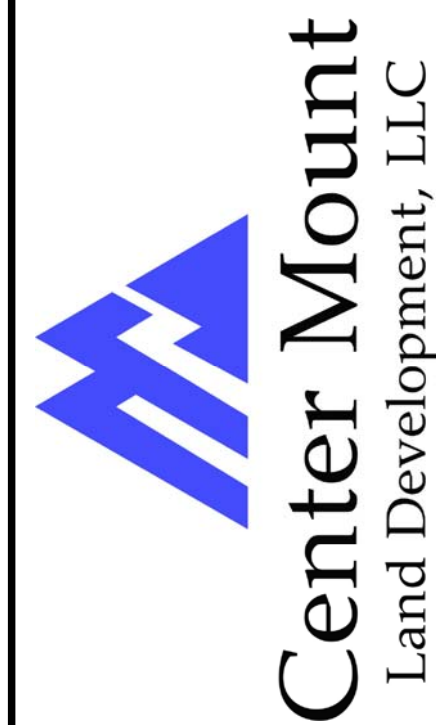
REVISIONS					
NO.	DATE	DESCRIPTION	DR/CK	SO/JS	SO/JS
1	4/1/21	REVS. PER TOWN PLANNER COMMENTS			
2	6/1/21	REVS. PER PLANNING BOARD HEARING			
3	6/17/21	REVS. PER PLANNING BOARD HEARING			
4	7/15/21	REVS. PER PLANNING BOARD HEARING			

PREPARED FOR:
CAPEN REYNOLDS FARM
USE & DEVELOPMENT COMMITTEE
10 PEARL STREET
STOUGHTON, MASSACHUSETTS 02072

PROJECT:
CAPEN REYNOLDS FARM
760 PLEASANT STREET
STOUGHTON, MASSACHUSETTS 02072

PLANNING BOARD DECISION

PERMITTING PLANS



DATE	10/29/2020
DESIGNED: RTL	CHECKED: SMO
DRAFTED: RTL	IN CHARGE: JCS
SCALE:	N.T.S.
PROJECT NO.	18124.0
SHEET NO.	10

OF 10

GENERAL NOTES

1. ALL PERMITS BY GENERAL CONTRACTOR. ALL WORK SHALL CONFORM TO THE MASSACHUSETTS STATE BLDG. CODE, LATEST EDITION AND ALL OTHER REGULATIONS GOVERNING THIS TYPE OF WORK INCLUDING MGL CHAPTER 82, SECTION 40, 40 A THROUGH 40 E INCLUSIVE COMMONLY KNOWN AS DIGSAFE. SEE NOTE 4 THIS DWG.

2. EACH CONTRACTOR AND SUBCONTRACTOR SHALL VISIT THE SITE PRIOR TO THE SUBMISSION OF BIDS TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS, DIMENSIONS AND SITE CONSTRAINTS. ALL DIMENSIONS, NEW AND EXISTING, ARE TO BE VERIFIED BY THE G.C. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO SUBMISSION OF A BID.

3. EXISTING SUBSURFACE UTILITIES, DEPICTED HEREON, SHOULD BE CONSIDERED APPROXIMATE IN THEIR LOCATIONS AND ATTRIBUTES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF SUBSURFACE UTILITIES AND THE COORDINATING OF THE PROPOSED CONSTRUCTION ACTIVITIES WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANY AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE. DIG-SAFE SHALL BE NOTIFIED PER COMMONWEALTH OF MASSACHUSETTS STATUTES CHAPTER 82, SECTION 409 AT LEAST 72 HOURS BEFORE THE START OF CONSTRUCTION AT TELEPHONE NUMBER 1-888-344-7233. THE ARCHITECT DOES NOT GUARENTEE ACCURACY OF THE SUBSURFACE UTILITIES DEPICTED HEREON OR THAT ALL UTILITIES ARE SHOWN IN THEIR ENTIRETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SIZE, LOCATION AND INVERTS OF STRUCTURES, AS REQUIRED, PRIOR TO THE START OF CONSTRUCTION.

4. DO NOT SCALE DRAWINGS. USE INDICATED, CALCULATED DIMENSIONS, OR FIELD MEASUREMENTS.

5. TO "REMOVE" SHALL MEAN TO REMOVE ALL MATERIALS, CONNECTIONS, ETC. AND DISPOSE OF LEGALLY.

6. ALL BIDDERS SHALL CONFIRM ALL GRADE CONDITIONS AND IDENTIFY ANY POTENTIAL GRADE ISSUES PRIOR TO THE SUBMITTAL OF A BID. FAILURE TO DO SO WILL NOT RELIEVE A BIDDER/CONTRACTOR FROM THEIR RESPONSIBILITIES TO CORRECT AT NO ADDITIONAL COST TO THE CLIENT.

7. NO WORK SHALL BE LEFT EXPOSED TO THE OPEN ELEMENTS WHILE G.C. IS OFF SITE. ALL EXCAVATIONS SHALL BE PROTECTED TO PREVENT ACCIDENTAL FALLING / INJURY TO WORKERS, OWNERS, OR VISITORS.

8. ANY EXCAVATED MATERIAL IN EXCESS OF THAT NECESSARY FOR BACKFILLING SHALL BE STOCK PILED ON SITE BY DIRECTION OF OWNER.

9. G.C. SHALL BE RESPONSIBLE FOR STRUCTURAL INTEGRITY OF MATERIALS, CONNECTIONS AND ANCHORING OF ALL ROUGH CARPENTRY WORK.

10. THE INTENT FOR BIDDING @ CONSTRUCTION IS THAT ALL SYSTEMS SHALL BE INSTALLED AS COMPLETE. EACH BIDDER SHALL EXAMINE EXISTING CONDITIONS & RELOCATE ANY DEVICE OR SYSTEM COMPONENT THAT ENCUMBERS THE NEW DESIGN.

11. ALL WORK SHALL BE GUARANTEED 100% FOR 1 (ONE) YEAR FROM DATE OF ISSUANCE OF CERTIFICATE OF OCCUPANCY BY LOCAL AUTHORITIES.

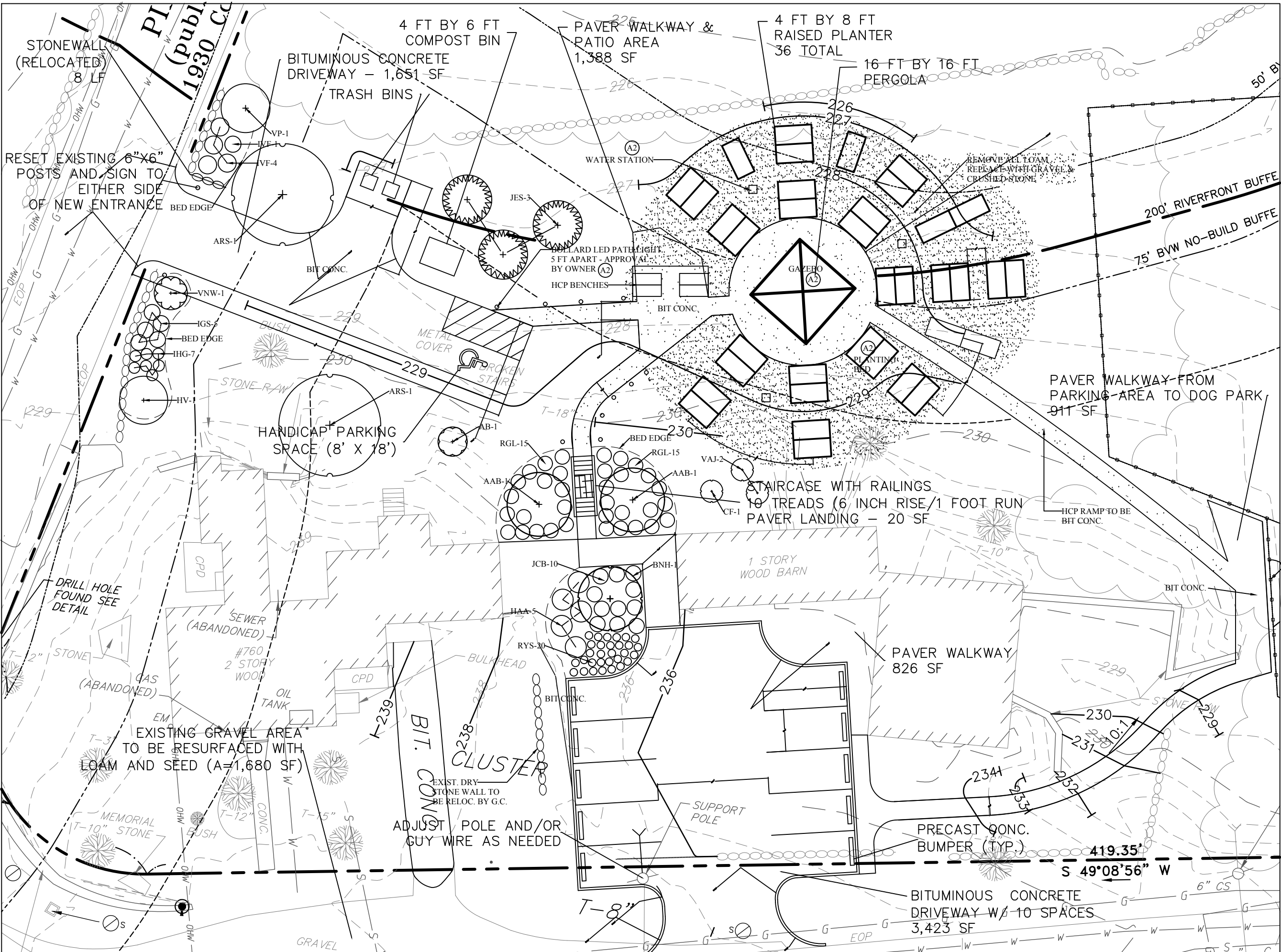
12. TO REMOVE AND / OR DEMOLISH SHALL BE EXTENDED TO MEAN; PROVIDE SHORING AT DISTURBED AREAS AS REQUIRED AND TO DISPOSE OF ALL DEBRIS LEGALLY.

13. G.C. SHALL COORDINATE THEIR WORK WITH ANY OF THE OWNERS SUB CONTRACTORS.

14. NO WORK SHALL BE COVERED UP UNTIL SIGNED OFF BY THE APPROPRIATE INSPECTORS.

15. ELECTRICAL SUB CONTRACTOR SHALL PROVIDE A DESIGN BUILD ELECTRICAL SYSTEM FOR FIXTURES AND CONTROLS.

16. PLUMBING SUB CONTRACTOR SHALL PROVIDE A DESIGN BUILD PLUMBING SYSTEM. ALL NEW FIXTURES. MAIN PLUMBING SHUT OFF VALVE SHALL BE INSTALL IN FARMHOUSE WITH BLOW OUT CONTROL. APPROVAL BY OWNER.



PROPOSED PLAN

SCALE: 1/16" = 1'-0"

(A2) SEE SHEET A-2

PLANTING NOTES AND SPECIFICATIONS	
The base plan information for the planting design have come from the Capen Reynolds Farm Permitting Plan Set dated 9/12/2108. Notify 'Dig Safe' to verify all utility locations prior to the start of work. Contractor shall take steps to protect any existing trees (where applicable) within the work area prior to the start of work. All plants will conform to the current "The American Standard for Nursery Stock" published by the American Association of Nurserymen. All plants will be balled in burlap or container grown as indicated per plant list. The lawn and planting bed areas should have a minimum of 4" of new screened loam as indicated per specifications. Perennial bed areas and ground cover areas should have a minimum of 4" of new screened loam as indicated in the specifications. The final specifications are the decision of the Owner and Contractor based on the soil conditions of the site. All plants shall be planted slightly above the root flare as they grew in the ground or the container on firm undisturbed earth in plant pits. The plant pits should be a minimum of twice the plant ball or container size. Amend the existing soil with a small amount of compost during installation in plant pits. If the excavated soil is excessively stony or poor, remove from the site and use loam-compost mix for the planting backfill material. Use the excess soil to create small soil "saucers" around the trees and larger (3ft and greater) deciduous, evergreen or broadleaf plants. Install shredded pine bark mulch (medium brown color) for all planting beds and individual plants in lawn areas. The "loose measure" depth for trees and shrubs will be 3" and for perennials and grasses will be 2" depth. Do not use dyed mulch or mulch containing ground recycled wood, stumps or pallets. Review final mulch selection with the owner and/or Landscape Designer. Contractor shall stake or guy all deciduous and flowering trees greater than 2" caliper and evergreen trees greater than 8 feet in height. Review materials and methods with the Owner and/or Landscape Designer. Staking or guying of trees and evergreens smaller than these specifications should be discussed prior to installation. The Owner and Landscape Designer will make the final decision on the plant substitutions. Selected specimens must be tagged or reviewed and approved by the Owner or Landscape Designer. The Contractor shall maintain all new plants until acceptance by the Owner or Landscape Designer. All new plants will be guaranteed to be alive and capable of new growth for a period of one year from the date of acceptance. Transplanted plants will not be guaranteed. The cost of replacement plants and their installation will be the responsibility of the Contractor. Only one replacement of any plant will be made. Transplanted plants are not guaranteed.	

PLANT LIST				
Key	Quan.	Name	Size	Remarks/Mature Height
Trees				
ARS	2	Acer rubrum Red Sunset (Red Sunset Red Maple)	2 5-3" caliper.	40'-50'
AAB	2	Amelanchier grandiflora Autumn Brilliance (Serviceberry)	6-8ft ht.	Clump form./15'-25'
BNH	1	Betula nigra Heritage (Heritage River Birch)	10-12ft ht.	Clump form./40'-50'
JES	3	Juniperus virginiana Emerald Sentinel (Emerald Sentinel Eastern Red Cedar).	6-7ft ht.	30'-60'
Shrubs				
AB	1	Aronia arbutifolia Brilliantissima (Red Chokeberry).	5 gal. pots	4'-6'
CF	1	Calycanthus floridus (Sweetshrub).	5 gal. pots	8'-10'
HV	1	Hamamelis vernalis (Vernal Witchhazel).	3-4ft high	6'-10'
HAA	5	Hydrangea arborescens Annabelle (Annabelle Smooth Hydrangea).	5 gal. pots	3'-5'
IGS	5	Ilex glabra Shamrock (Shamrock Inkberry Holly).	5 gal. pots	3'-4'
IVF	4	Ilex verticillata (female) Maryland Beauty.	5 gal. pots	Alternate "Red Sprite"/3'-4'
IVM	1	Ilex verticillata (male) Southern Gentleman.	5 gal. pots	6'-10'
IHG	7	Itea virginica Henry's Garnet (Virginia Sweetspire).	3 gal. pots	3'-4'
JCB	10	Juniperus conferta Blue Pacific (Shore Juniper).	3 gal. pots	4'-5'
RGL	30	Rhus aromatic "Gro-Low" (Fragrant Sumac).	3 gal. pots	2'-8'
VAJ	2	Viburnum dentatum Autumn Jazz (Arrowwood Viburnum).	3-4ft high	Alternate "Blue Muffin". 5'-7'
VNW	1	Viburnum nudum Winterthur (Smooth Viburnum).	3-4ft high	Alternate "Brandywine"/10'
VP	1	Viburnum prunifolium (Blackhaw Viburnum).	3-4ft high	12'-15'
Perennials-Grasses				
RVS	20	Rudbeckia Viette's Little Suzy (Black Eyed Susan).	1gal pots	Alternate Nepeta Blue Wonder (Catmint)
Plant Information: Google search the Botanical or Common name of any plant to view photos. Note! Please review any plant changes in type or size with the owner and/or the Landscape Designer before purchase. Container plants to be full, multiple stemmed plants.				

BCA

B. Goba & Associates P.C. Architects
92 High Street
Suite T-41 B
Medford, MA 02155
Ph. 781 395 2827
BGA@Bgoba.com

REVISIONS

04/01/21 - SO

COMMUNITY GARDEN
CAPEN REYNOLDS
STOUGHTON MA

DATE PLOTTED:
APRIL 10, 2019

GENERAL NOTES
PROPOSED PLAN
PLANT NOTES & LIST
SCALE 1/16" = 1'-0"
DRAWN BY: FC

CHECKED BY: BC

A-1

GAZEBO

The image contains six architectural drawings for a gazebo, arranged in two columns. The left column includes a Section, Column Detail Plan, Beam Detail Plan, and Framing Plan. The right column includes an Elevation and Metal Roof Detail.

SECTION
SCALE: $\frac{1}{2}" = 1'-0"$

COLUMN DETAIL PLAN
SCALE: $1" = 1'-0"$

BEAM DETAIL PLAN
SCALE: $1" = 1'-0"$

FRAMING PLAN
SCALE: $\frac{1}{8}" = 1'-0"$

ELEVATION
SCALE: $\frac{1}{8}" = 1'-0"$

METAL ROOF DETAIL
SCALE: $1" = 1'-0"$

Labels and Dimensions:

- Section:** METAL ROOF SHEATHING, ROOF TRIM, 12/8, 2X4 BLOCKING, RIDGEBOARD, 2X12 RAFTER, 3-2X10 LVLS, STEEL CLIP, 2'-0", STEEL COLUMN [BEYOND], 1 1/2" PT WOOD TRIM, 8'-0", NEW PAVERS TO MEET CONC. SLAB, 4'-0" MIN, APPROXIMATE GRADE, 4" CONC SLAB W/ 6X6 NO. 10 W.W.M (SET ON LIFTERS) SET ON 8" COMPACTED GRAVEL BASE, 16" SONOTUBE W/ 4 #4 REBARS EA. SET UNDISTURBED GRAVEL BASE.
- Column Detail Plan:** 5", 1 1/4" STEEL BOLTS, 5" STEEL COLUMN, 1/4" SHIM SPACE, 1 1/4" WOOD TRIM, 1/2" MITER CORNER.
- Beam Detail Plan:** METAL PLATE, 3-2X10 LVLS, STEEL ANGLE BOLTED THROUGH LVLS W/ 3/8" DIAMETER 2 BOLTS T&B.
- Framing Plan:** 4'-0", 16'-0", 3-2X10 LVLS BOLTED, BIRD SCREEN TYP., 2 X 10 - 16" O.C., 4'-0".
- Elevation:** 4'-0", 1'-10" +/-, 8'-8" +/-, 8", 8'-0", FIXED LOUVRE, STANDING SEAM METAL ROOF ON 5/8" P.T. PLYWOOD BASE.
- Metal Roof Detail:** 5/8" P.T. PLYWOOD BASE.

