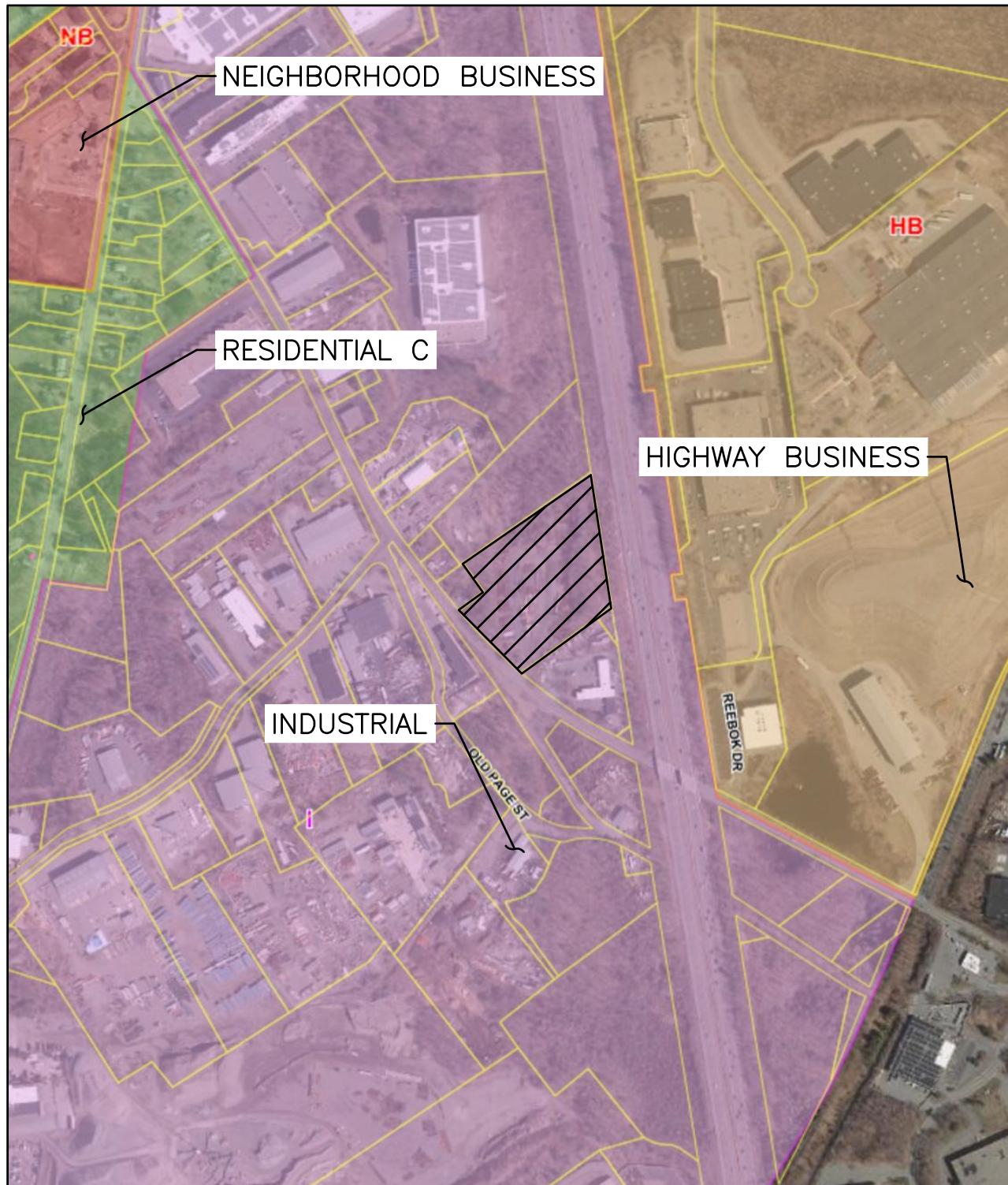


Milton



SALES & SERVICE FACILITY STOUGHTON, MASSACHUSETTS

FEBRUARY 11, 2021



ZONING MAP

SCALE: 1"=600'

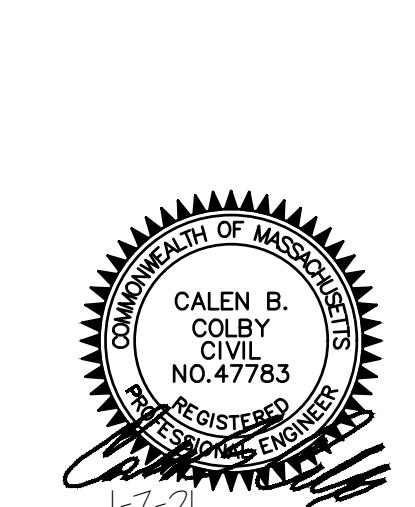
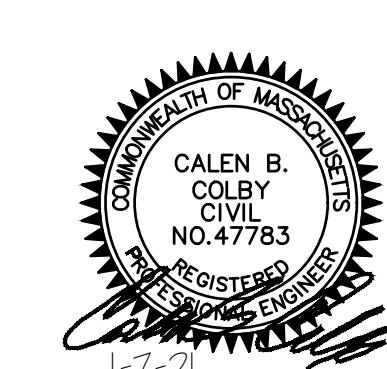
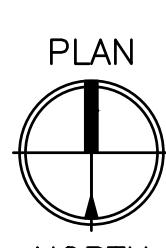
| DRAWING INDEX | | |
|---------------|----------------------------------|--------------|
| DRAWING | TITLE | SHEET NUMBER |
| G-001 | TITLE & INDEX SHEET | 1 |
| V-101 | BOUNDARY SURVEY | 2 |
| C-101 | EXISTING CONDITIONS PLAN | 3 |
| C-102 | SITE DEMOLITION PLAN | 4 |
| C-103 | OVERALL SITE LAYOUT PLAN | 5 |
| C-104 | OVERALL GRADING & DRAINAGE PLAN | 6 |
| C-105 | EROSION CONTROL PLAN | 7 |
| C-106 | STRIPING AND SIGNAGE PLAN | 8 |
| C-107 | SITE PLAN - COLOR CODED | 9 |
| C-110 | SITE PLAN (1 OF 2) | 10 |
| C-111 | SITE PLAN (2 OF 2) | 11 |
| C-112 | SITE UTILITY PLAN | 12 |
| C-120 | GRADING & DRAINAGE PLAN (1 OF 2) | 13 |
| C-121 | GRADING & DRAINAGE PLAN (2 OF 2) | 14 |
| C-130 | OFF-SITE SEWER PLAN | 15 |
| C-131 | SANITARY SEWER PLAN & PROFILE | 16 |
| C-301 | DRAINAGE PROFILES | 17 |
| C-302 | OFF-SITE DRAINAGE PROFILE | 18 |
| C-501 | EROSION CONTROL NOTES | 19 |
| C-502 | EROSION CONTROL DETAILS | 20 |

| | | |
|--------|--|----|
| C-503 | CONSTRUCTION DETAILS - UTILITIES | 21 |
| C-504 | CONSTRUCTION DETAILS - SEWER | 22 |
| C-505 | CONSTRUCTION DETAILS - DRAINAGE (1 OF 4) | 23 |
| C-506 | CONSTRUCTION DETAILS - DRAINAGE (2 OF 4) | 24 |
| C-507 | CONSTRUCTION DETAILS - DRAINAGE (3 OF 4) | 25 |
| C-508 | CONSTRUCTION DETAILS - DRAINAGE (4 OF 4) | 26 |
| C-509 | CONSTRUCTION DETAILS - SITE (1 OF 2) | 27 |
| C-510 | CONSTRUCTION DETAILS - SITE (2 OF 2) | 28 |
| C-511 | CONSTRUCTION DETAILS - SIGNAGE | 29 |
| WQ-101 | PRE-DEVELOPMENT WATER QUALITY PLAN | 30 |
| WQ-102 | POST-DEVELOPMENT WATER QUALITY PLAN | 31 |
| L-101 | LANDSCAPE PLAN | 32 |
| L-102 | LANDSCAPE DETAILS | 33 |
| ES-101 | PHOTOMETRIC PLAN | 34 |
| ES-102 | LIGHTING DETAILS | 35 |
| A101 | FIRST FLOOR PLAN | 36 |
| A102 | SECOND FLOOR PLAN | 37 |
| A201 | ELEVATIONS | 38 |
| A202 | ELEVATIONS | 39 |
| A901 | 3D VIEWS | 40 |
| B-101 | BORING LOGS (1 OF 2) | 41 |
| B-102 | BORING LOGS (2 OF 2) | 42 |
| X-101 | PLANNING BOARD DECISION | 43 |



LOCUS MAP

1"=600'



| | |
|---|--------|
| CALEN B. COLEY CIVIL NO. 47783 REGISTERED ENGINEER | 1-7-21 |
|---|--------|

47A York St
Portland, ME
04101
207.553.7753

| | | | | |
|---|-------------------------|-----|-----|-----------|
| E | PB & CON COMM REVIEW | LDA | ALT | 2/11/2021 |
| D | ADD DRAINAGE AREA | LDA | ALT | 1/21/2021 |
| C | PLANNING BOARD REVIEW | DAM | ALT | 1/7/2021 |
| B | CONSERVATION COMMISSION | DAM | ALT | 12/4/2020 |
| A | PLANNING BOARD REVIEW | DAM | ALT | 10/5/2020 |

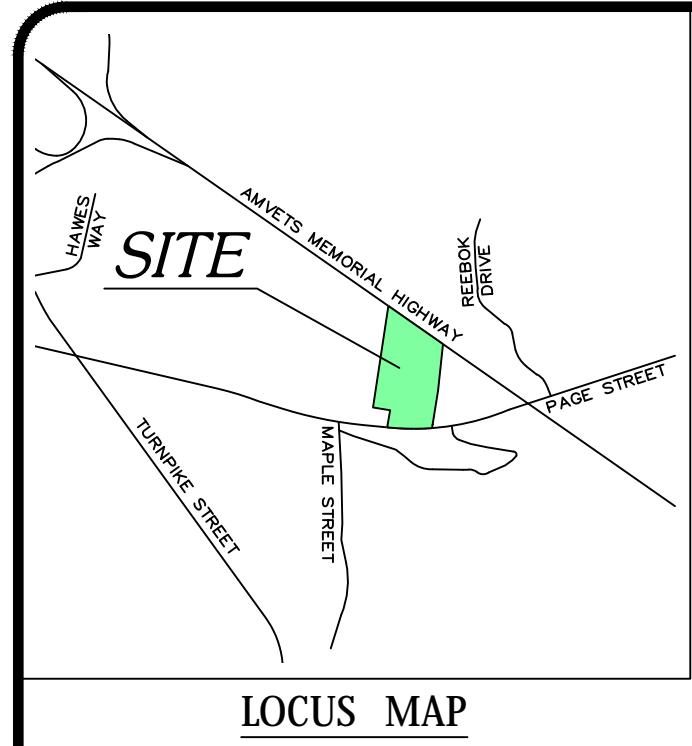
REV
DESCRIPTION
DWN APP DATE

SIZE: ANSI D
DATE: 1/7/2021
DES BY: LDA
DWN BY: DAM
CKD BY: ALT

| | |
|--|-------------|
| MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC | |
| 100 QUARRY DRIVE, MILFORD, MA 01757 | |
| SALES & SERVICE FACILITY | |
| 207 PAGE STREET, STOUGHTON MA | |
| TITLE & INDEX SHEET | |
| PROJECT NO. | 109.077.001 |
| DRAWING NO. | G-001 |
| SHEET | 1 OF 43 |

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BIDDING OR CONSTRUCTION PURPOSES.

SIZE: ANSI D
DATE: 1/7/2021
DES BY: LDA
DWN BY: DAM
CKD BY: ALT



LOCUS MAP
not to scale

NOTES

1. TRAVERSE POINTS 26 AND BOUND POINT 200 WERE OBSERVED WITH A LEICA GS14 GPS RECEIVER USING THE LEICA SMARTNET NORTH AMERICA RTK NETWORK.
2. HORIZONTAL DATUM: MASSACHUSETTS STATE PLANE - MAINLAND ZONE NAD83 (2011) EPOCH 2010.00 - US FEET
3. VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (GEOD 12B) - US FEET
4. ALL ON-THE-GROUND OBSERVATIONS WERE PERFORMED USING LEICA TS12 (3") ROBOTIC TOTAL STATIONS.
5. THIS SURVEY AND PLAN ARE BASED UPON AN ACTUAL ON THE GROUND INSTRUMENT SURVEY PERFORMED BETWEEN SEPTEMBER 16, 2020 AND DECEMBER 16, 2020.
6. LEGAL STATUS OF THE STREETS AND/OR WAYS SHOWN HEREON, WHETHER THEY ARE PUBLIC OR PRIVATE, WERE NOT MADE PART OF THIS SURVEY.
7. ALL FLOWERING PLANTS, SHRUBS, OR TREES MAY NOT BE SHOWN WITHIN LANDSCAPING AREAS. IT IS MEANT FOR ILLUSTRATIVE PURPOSES ONLY AND NOT MEANT AS A COMPLETE INVENTORY OF ALL VEGETATION THAT MAY EXIST. SIZES, REFLECT APPROXIMATE TRUNK DIAMETER AT BREAST HEIGHT OR APPROXIMATE DIAMETER OF SHRUB WIDTH.
8. THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON EITHER RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, VISUAL INSPECTION OF AVAILABLE ABOVEGROUND STRUCTURES, PHYSICAL SURFACE MARKINGS FOUND, OR DATA PROVIDED BY OTHERS. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK.
9. THE SUBJECT PROPERTY DOES NOT FALL IN A SPECIAL FLOOD HAZARD ZONE AS THE SUBJECT PROPERTY IS PLOTTED BY SCALE ONTO THE FLOOD INSURANCE RATE MAP FOUND AS, COUNTY NORFOLK COMMUNITY STOUGHTON PANEL 25021C0214E EFFECTIVE DATE JULY 17, 2012

ZONING TABLE
ZONING DISTRICT: INDUSTRIAL

DIMENSIONAL REGULATIONS

| | REQUIRED | SHOWN |
|--------------------|-------------|--------------|
| MIN. LOT FRONTAGE: | 150 FT | 357.88 FT |
| MIN. LOT AREA: | 80,000 S.F. | 282,547 S.F. |
| FRONT YARD: | 25 FEET | N/A |
| SIDE YARD: | 20 FEET | N/A |
| REAR YARD: | 40 FEET | N/A |

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS, TITLE 250 CMR 6.00.



September 22, 2020

PROFESSIONAL LAND SURVEYOR

DATE

MAPLE STREET
PAGE STREET
OLD PAGE STREET
(PUBLIC - 1956 STATE HIGHWAY ALTERATION - VARIABLE WIDTH)

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SURVEYING, LLC SHALL RENDER THEM INVALID AND
UNUSABLE.

PREPARED BY:
LIGHTHOUSE LAND SURVEYING, LLC
27 JEFFERSON STREET - TAUNTON, MASSACHUSETTS
Tel. 508 - 824 - 6609
website: www.lighthouselandsurveying.com

| REVISIONS: | | COPYRIGHT © | | PROJECT: | | TITLE: | |
|------------|-----|-------------|---------|-----------------------------|--|--------|--|
| DRWN BY: | SMB | 2 | 1/18/21 | ADDED DRAINAGE STRUCTURES | | | |
| CHK'D BY: | RWR | 1 | 1/8/21 | EXPANDED SURVEY TO MAPLE ST | | | |
| APRVD BY: | RWR | REV # | DATE | DESCRIPTION | | | |

Graphic Scale
1 inch = 50 feet
0 50 100 150

207 PAGE STREET
(NORFOLK COUNTY)
STOUGHTON, MASSACHUSETTS

| EXISTING CONDITIONS | |
|---------------------|---|
| PLAN OF LAND | |
| PREPARED FOR: | COLBY COMPANY, LLC P.O. BOX 1675 PORTLAND, ME 04104 |

| DATE: SEPTEMBER 22, 2020 | |
|-----------------------------|-------|
| SHEET NO: 1 | |
| 2 | OF 43 |

MA STATE PLANE COORD. SYSTEM
MAINLAND ZONE - NAD 83

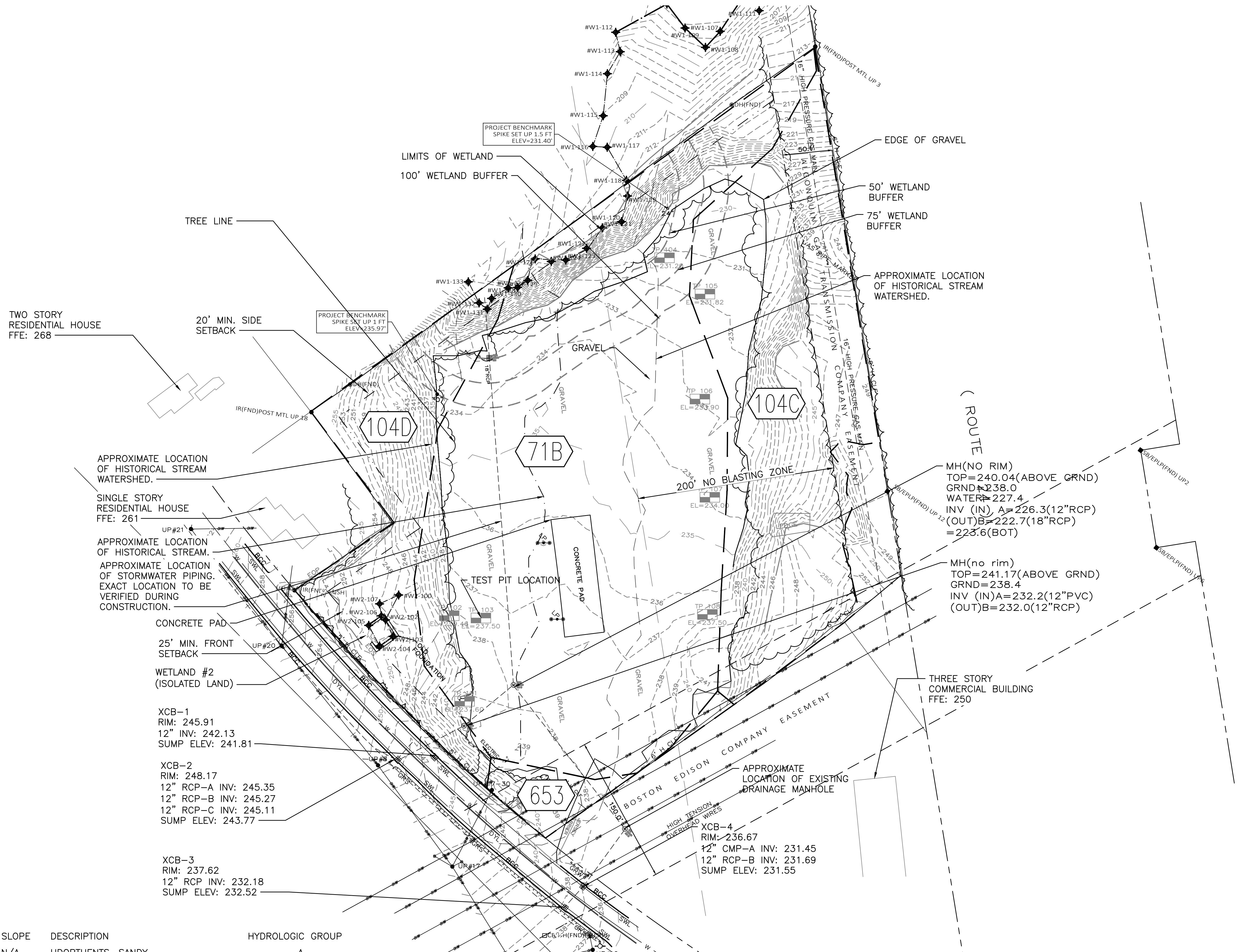
PLAN REFERENCES
PLAN BK 226 PAGE 895

DEED REFERENCES

J.F. WHITE CONTRACTING CO.
DEED BK 5019 PAGE 125
DEED BK 4584 PAGE 221
DEED BK 4592 PAGE 540

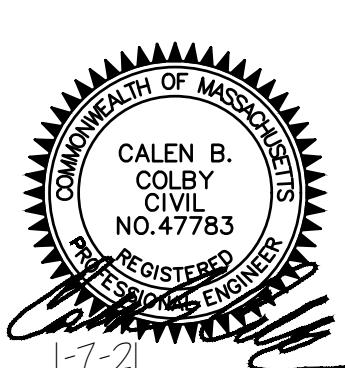
LEGEND

| | |
|--------------|--|
| IR(fnd) | IRON ROD FOUND |
| CB/DH(fnd) | CONCRETE BOUND DRILL HOLE FOUND |
| DH(fnd) | DRILL HOLE FOUND |
| SB/LPEP(fnd) | STONE BOUND W/ ESCUTCHION PIN IN LEAD PLUG |
| CLF | CHAINLINK FENCE |
| BCC | BITUMINOUS CONCRETE CURB |
| SWL | SINGLE WHITE LINE |
| DYL | DOUBLE YELLOW LINE |
| GRW | GUARD RAIL STEEL |
| GRS | GUARD RAIL WOOD |
| EOS | EDGE OF STONE |
| EOP | EDGE OF PAVEMENT |



EXISTING CONDITIONS PLAN

SCALE: 1" = 50'-0"

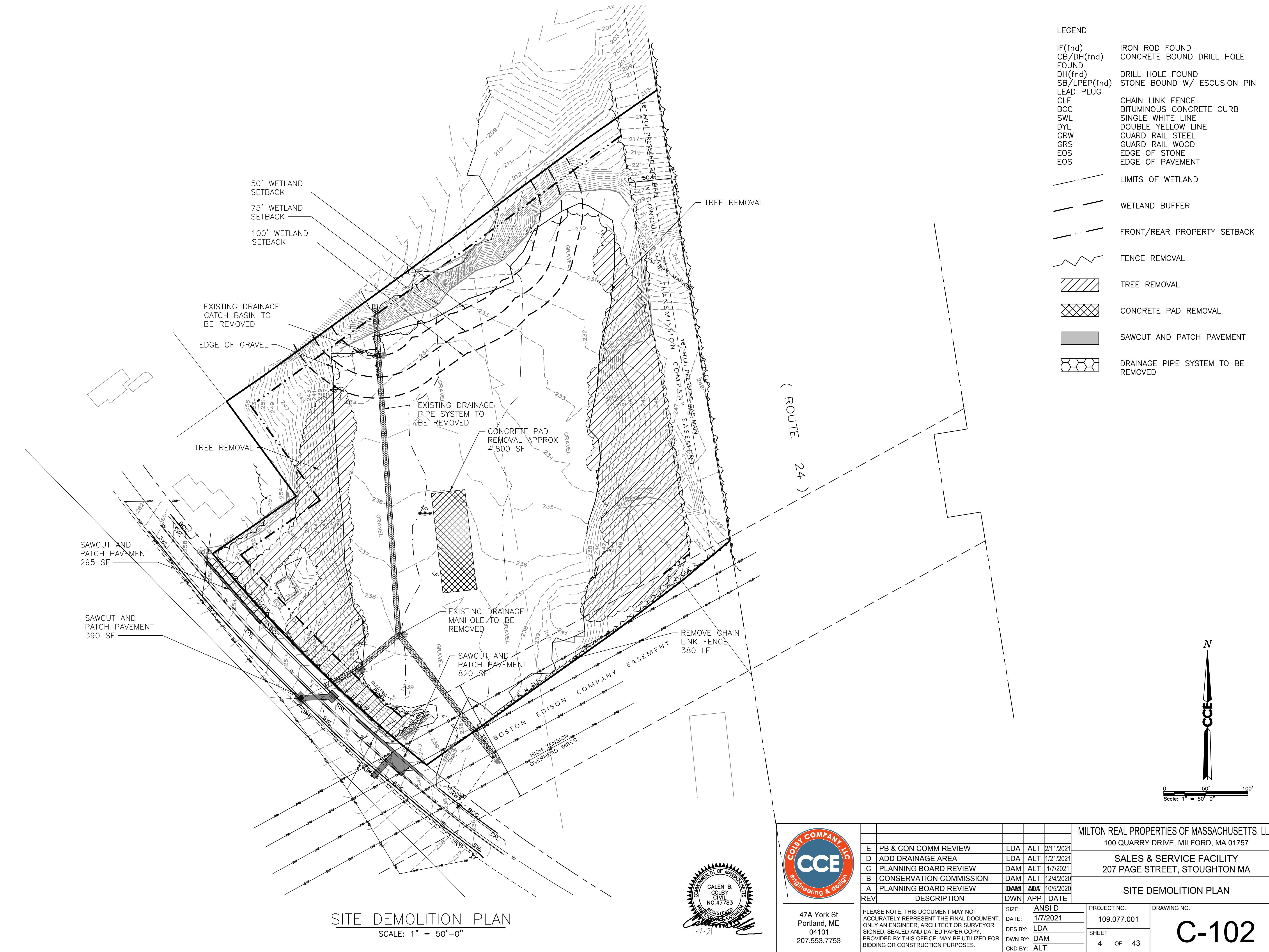


| REV | DESCRIPTION | DWN | APP | DATE |
|-----|-------------------------|-----|-----|-----------|
| E | PB & CON COMM REVIEW | LDA | ALT | 2/11/2021 |
| D | ADD DRAINAGE AREA | LDA | ALT | 1/21/2021 |
| C | PLANNING BOARD REVIEW | DAM | ALT | 1/7/2021 |
| B | CONSERVATION COMMISSION | DAM | ALT | 1/24/2020 |
| A | PLANNING BOARD REVIEW | DAM | ALT | 10/5/2020 |
| REV | DESCRIPTION | DWN | APP | DATE |

47A York St
Portland, ME
04101
207.553.7753

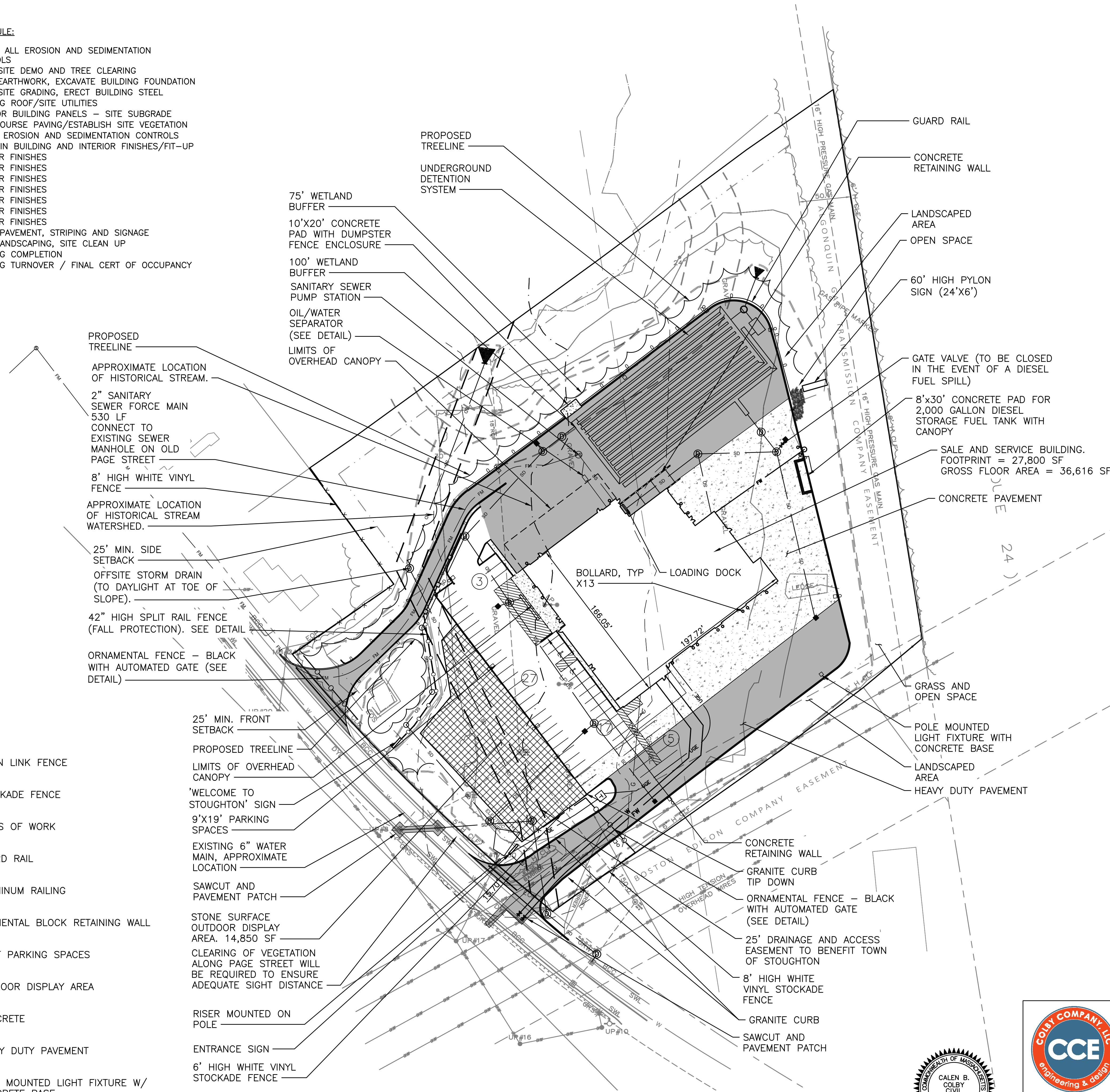
| SIZE: | ANSI D | PROJECT NO. | 109.077.001 |
|---------|----------|-------------|-------------|
| DATE: | 1/7/2021 | | |
| DES BY: | LDA | | |
| DWN BY: | DAM | | |
| CKD BY: | ALT | | |
| SHEET | 3 OF 43 | DRAWING NO. | C-101 |

| EXISTING CONDITIONS PLAN | | | |
|---|----------|-------------|-------------|
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| SIZE: | ANSI D | PROJECT NO. | 109.077.001 |
| DATE: | 1/7/2021 | | |
| DES BY: | LDA | | |
| DWN BY: | DAM | | |
| CKD BY: | ALT | | |



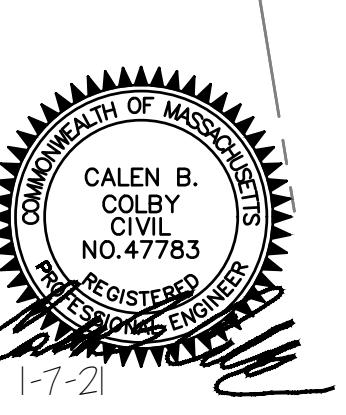
CONSTRUCTION SCHEDULE:

| | |
|-------------|--|
| APRIL 2021 | INSTALL ALL EROSION AND SEDIMENTATION CONTROLS |
| APRIL 2021 | BEGIN SITE DEMO AND TREE CLEARING |
| MAY 2021 | BEGIN EARTHWORK, EXCAVATE BUILDING FOUNDATION |
| JUNE 2021 | BEGIN SITE GRADING, ERECT BUILDING STEEL |
| JULY 2021 | BUILDING ROOF/SITE UTILITIES |
| AUGUST 2021 | EXTERIOR BUILDING PANELS – SITE SUBGRADE |
| SEPT 2021 | BASE COURSE PAVING/ESTABLISH SITE VEGETATION |
| OCT 2021 | WINTER EROSION AND SEDIMENTATION CONTROLS |
| NOV. 2021 | CLOSE IN BUILDING AND INTERIOR FINISHES/FIT-UP |
| DEC 2021 | INTERIOR FINISHES |
| JAN 2022 | INTERIOR FINISHES |
| FEB 2022 | INTERIOR FINISHES |
| MARCH 2022 | INTERIOR FINISHES |
| APRIL 2022 | INTERIOR FINISHES |
| MAY 2022 | INTERIOR FINISHES |
| JUNE 2022 | INTERIOR FINISHES |
| JULY 2022 | FINISH PAVEMENT, STRIPING AND SIGNAGE |
| AUGUST 2022 | FINAL LANDSCAPING, SITE CLEAN UP |
| SEPT 2022 | BUILDING COMPLETION |
| OCT 2022 | BUILDING TURNOVER / FINAL CERT OF OCCUPANCY |



OVERALL SITE LAYOUT PLAN

SCALE: 1" = 50'-0"



| REV | DESCRIPTION | DWN | APP | DATE | MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757 SALES & SERVICE FACILITY 207 PAGE STREET, STOUGHTON MA OVERALL SITE LAYOUT PLAN | | |
|---|-------------------------|-----|-----|-----------|--|---|---------------------------------|
| E | PB & CON COMM REVIEW | LDA | ALT | 2/11/2021 | | | |
| D | ADD DRAINAGE AREA | LDA | ALT | 1/21/2021 | | | |
| C | PLANNING BOARD REVIEW | DAM | ALT | 1/7/2021 | | | |
| B | CONSERVATION COMMISSION | DAM | ALT | 12/4/2020 | | | |
| A | PLANNING BOARD REVIEW | DAM | ALT | 10/5/2020 | | | |
| REV | DESCRIPTION | DWN | APP | DATE | | | |
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NOTES:

1. PROPERTY IS IDENTIFIED AS TAX MAP 94 LOT 43.
2. RECORD OWNER: JF WHITE CONTRACTING CO. 56 OLD PAGE STREET, STOUGHTON MA.
3. THE TOTAL AREA OF MAP 94 LOT 43 IS 282,663 SF OR 6.49 ACRES.
4. THE PROPOSED DEVELOPMENT TO INCLUDE:
36,616 SF BUILDING
5. PROPERTY IS LOCATED IN INDUSTRIAL (I) ZONE.
6. PROPERTY IS NOT LOCATED WITHIN THE FEMA 100 YEAR FLOOD PLAIN.
7. MAXIMUM BUILDING AREA CALCULATION:

| | |
|----------------------|--------------------|
| TOTAL LOT AREA: | 282,663 SF |
| TOTAL BUILDING AREA: | 36,616 SF |
| % BUILDING AREA: | 9.6% < 50% ALLOWED |
8. LOT STANDARDS: REQUIRED PROVIDED

| | | |
|-----------------------|-----------|------------|
| MIN. LOT SIZE: | 80,000 SF | 282,663 SF |
| MIN. FRONTAGE: | 150 LF | 358 LF |
| MIN. FRONT SETBACK: | 25 FT | 189 FT |
| MIN. REAR SETBACK: | 40 FT | N/A |
| MIN. SIDE SETBACK: | 20 FT | 140 FT |
| MAX. BUILDING HEIGHT: | 40 FT | 32 FT |
| OPEN SPACE: | 70,666 SF | 72,250 SF |
9. PARKING CALCULATIONS: (PURSUANT TO TOWN OF STOUGHTON TABLE OF OFF-STREET PARKING REGULATIONS)

5. NEW AND USED CAR SALES AND AUTOMOTIVE SERVICE ESTABLISHMENT AND OTHER RETAIL AND SERVICE ESTABLISHMENT UTILIZING EXTENSIVE DISPLAY AREAS, EITHER INDOOR OR OUTDOOR WHICH ARE UNUSUALLY EXTENSIVE IN RELATION TO CUSTOMER TRAFFIC.

1 PER 1,000 SQUARE FEET OF GROSS FLOOR SPACE.

36,616 SF GROSS FLOOR AREA / 1 PER 1,000 SF =====36.6

1 PER 1,000 SF OF OUTDOOR DISPLAY AREA

14,850 SF OUTDOOR DISPLAY/ 1 PER 1,000 SF = 14.9 SPACES

TOTAL SPACES REQUIRED = 14.9+36.7 = 51.6 ==> 52 SPACES

TOTAL SPACES PROVIDED = 52

ACCESSIBLE SPACES REQUIRED = 3
10. THE RETAINING WALL MANUFACTURER WILL SUPPLY STAMPED (COMMONWEALTH OF MASSACHUSETTS) ENGINEERING DRAWINGS TO THE CONTRACTOR AND STOUGHTON ENGINEERING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
11. THE TOWN OF STOUGHTON ZONING BOARD OF APPEALS APPROVED MILTON CAT'S PETITION TO OPERATE AN ACCESSORY RETAIL STORE IN AN INDUSTRIAL OR WAREHOUSE BUILDING PROVIDING IT IS SELLING THEIR OWN PRODUCTS. THIS DECISION WAS RECORDED AT THE NORFOLK COUNTY REGISTRY OF DEEDS ON BOOK 38679 PAGE 98 ON NOVEMBER 2, 2020.
12. THE BUILDING WILL BE EQUIPPED WITH A FIRE PROTECTION SPRINKLER SYSTEM, A FLOW TEST MUST BE PERFORMED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. THE FLOW TEST RESULTS MUST BE INCORPORATED IN TO THE FIRE SUPPRESSION SYSTEM DESIGN AND MUST BE REVIEWED AND APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
13. A FINAL AS-BUILT PLAN MUST BE SUBMITTED TO THE TOWN OF STOUGHTON ENGINEERING DEPARTMENT FOR REVIEW PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
14. ALL REQUIRED INSPECTION FEES MUST BE PAID THROUGH THE ENGINEERING OFFICE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
15. THE PLANNING BOARD REQUIRES A CASH BOND IN THE AMOUNT TO COVER THE FULL REPLACEMENT COST OF ALL LANDSCAPING PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THE BOND WILL BE HELD BY THE PLANNING BOARD FOR ONE FULL GROWING SEASON AFTER THE LANDSCAPING IS INSTALLED.
16. ALL STORMWATER UTILITY STRUCTURES LOCATED ALONG THE FRONTAGE OF PAGE STREET MUST BE CLEANED AND SERVICED PRIOR TO THE CONSTRUCTION OF THE RELOCATED PAGE STREET STORMWATER SYSTEM THROUGH THE SITE.
17. A VEGETATION MANAGEMENT PLAN MUST BE PREPARED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO CONTROL INVASIVE SPECIES THAT EXIST ON SITE. THE PREPARATION AND IMPLEMENTATION OF THE PLAN MUST BE COMPLETED BY A QUALIFIED MADAR CERTIFIED INVASIVE SPECIES MANAGEMENT SPECIALIST ACCEPTABLE TO THE CONSERVATION COMMISSION.

N
CCE

Scale: 1" = 50'-0"

A scale bar at the top of the page. It features a horizontal line with tick marks at 0, 50', and 100'. Below the line, the text 'Scale: 1" = 50'-0" is centered.

, MILFORD, MA 01757

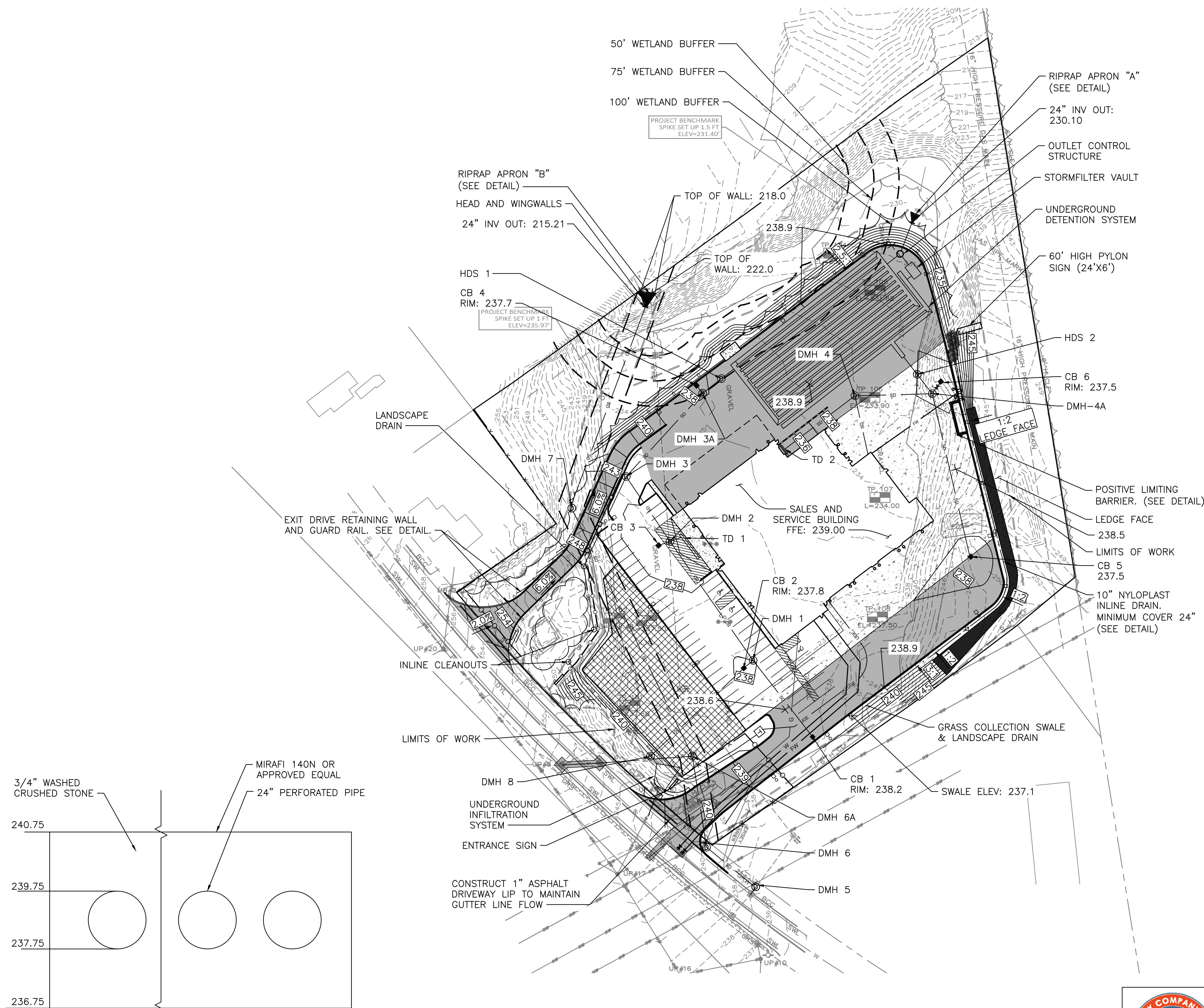
VICE FACILITY

T. STOUGHTON MA

STOUGHTON MA

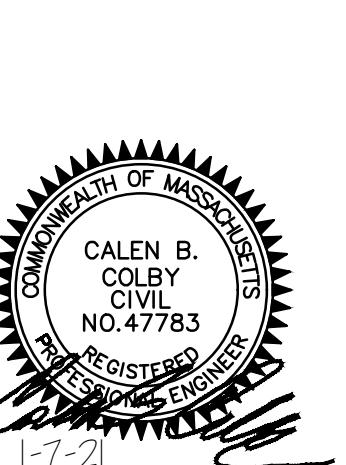
IG NO.

C-103



| DRAINAGE STRUCTURES | | | |
|---|---|--|--|
| CB 1 RIM: 238.20 INV OUT: 233.82 | CB 5 RIM: 237.50 INV OUT: 232.38 | DMH 3 RIM: 238.30 INV IN: 232.08 INV IN: 232.08 INV OUT: 231.98 | DMH 4A RIM: 237.80 INV IN: 231.46 INV IN: 231.46 INV IN: 231.46 INV OUT: 231.36 |
| CB 2 RIM: 237.8 INV OUT: 233.43 | CB 6 RIM: 237.50 INV OUT: 231.58 | DMH 3A RIM: 238.00 | HDS 2 RIM: 238.00 INV IN: 231.25 INV OUT: 231.00 |
| CB 3 RIM: 237.35 INV OUT: 232.63 | DMH 1 RIM: 238.00 INV IN: 233.35 INV IN: 233.35 INV OUT: 233.25 | INV IN: 231.44 INV IN: 231.44 INV OUT: 231.34 DMH 4 RIM: 238.60 | TD 1 RIM: 235.00 INV OUT: 232.78 |
| CB 4 RIM: 237.70 INV OUT: 231.52 | DMH 2 RIM: 237.20 INV IN: 232.55 INV IN: 232.55 INV IN (TD-1): 232.64 | INV IN: 232.28 INV IN: 232.28 INV OUT: 232.18 UNDERGROUND DETENTION | TD 2 RIM: 235.00 INV OUT: 233.12 |
| HDS 1 RIM: 238.10 INV IN: 231.10 INV OUT: 231.00 | INV OUT: 232.45 | INV: 231.00 | |
| DMH 5 RIM: 237.5 INV OUT: 231.5 | DMH 6 RIM: 240.0 INV IN: 231.21 INV OUT: 231.11 | DMH 6A RIM: 239.8 INV IN: 230.67 INV OUT: 230.57 | DMH 7 RIM: 239.0 INV IN: 229.22 INV OUT: 229.12 |
| | | | DMH 8 RIM: 240.0 INV IN: 238.0 TOP OF WEIR: 239.75 |

| PIPE SCHEDULE | | |
|---|--|--|
| SD 1 (CB 1 - DMH-1) DIAMETER: 12" PIPE LENGTH: 91' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE | SD 7 (CB 5 - DMH-4A) DIAMETER: 18" PIPE LENGTH: 184' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE | SD 21 (DMH 5 - DMH 6) DIAMETER: 24" PIPE LENGTH: 57' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE |
| SD 2 (DMH-1 - DMH-2) DIAMETER: 18" PIPE LENGTH: 136' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE | SD 8 (DMH-4 - DMH-4A) DIAMETER: 24" PIPE LENGTH: 73' SLOPE(FT/FT): 0.010 TYPE: CORRUGATED HDPE | SD 22 (DMH 6 - DMH 6A) DIAMETER: 24" PIPE LENGTH: 89' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE |
| SD 3 (TD 1 - DMH-2) DIAMETER: 8" PIPE LENGTH: 26' SLOPE(FT/FT): 0.005 TYPE: PVC SMOOTH INTERIOR | SD 9 (DMH-4A - HDS-2) DIAMETER: 24" PIPE LENGTH: 21' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE | SD 23 (DMH 6A - DMH 7) DIAMETER: 24" PIPE LENGTH: 270' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE |
| SD 4 (DMH-2 - DMH 3) DIAMETER: 21" PIPE LENGTH: 70' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE | SD 10 (RD 1 - DMH 4) DIAMETER: 24" PIPE LENGTH: 33' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE | SD 24 (DMH 7 - OUTLET) DIAMETER: 24" PIPE LENGTH: 180' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE |
| SD 5 (DMH 3 - DMH 3A) DIAMETER: 21" PIPE LENGTH: 105' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE | SD 11 (TD 2 - DMH 4) DIAMETER: 8" PIPE LENGTH: 84' SLOPE(FT/FT): 0.010 TYPE: PVC SMOOTH INTERIOR | SD 25 (XCB-2 - XCB-1) DIAMETER: 18" PIPE LENGTH: 35' SLOPE(FT/FT): 0.0851 TYPE: RCP |
| SD 6 (DMH-3A - HDS-1) DIAMETER: 21" PIPE LENGTH: 21' SLOPE(FT/FT): 0.010 TYPE: CORRUGATED HDPE | SD-20 (XCB-4 - DMH5) DIAMETER: 15" PIPE LENGTH: 4' SLOPE(FT/FT): 0.0100 TYPE: CORRUGATED HDPE | SD-26 (XCB-1 - DMH-6A) DIAMETER: 18" PIPE LENGTH: 88' SLOPE(FT/FT): 0.1302 TYPE: CORRUGATED HDPE |
| | | SD-27 (DMH 8 - CB 2) DIAMETER: 8" PIPE LENGTH: 123' SLOPE(FT/FT): 0.0351 TYPE: PVC |



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MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC
100 QUARRY DRIVE, MILFORD, MA 01757

**SALES & SERVICE FACILITY
207 PAGE STREET, STOUGHTON MA**

OVERALL GRADING & DRAINAGE PLAN

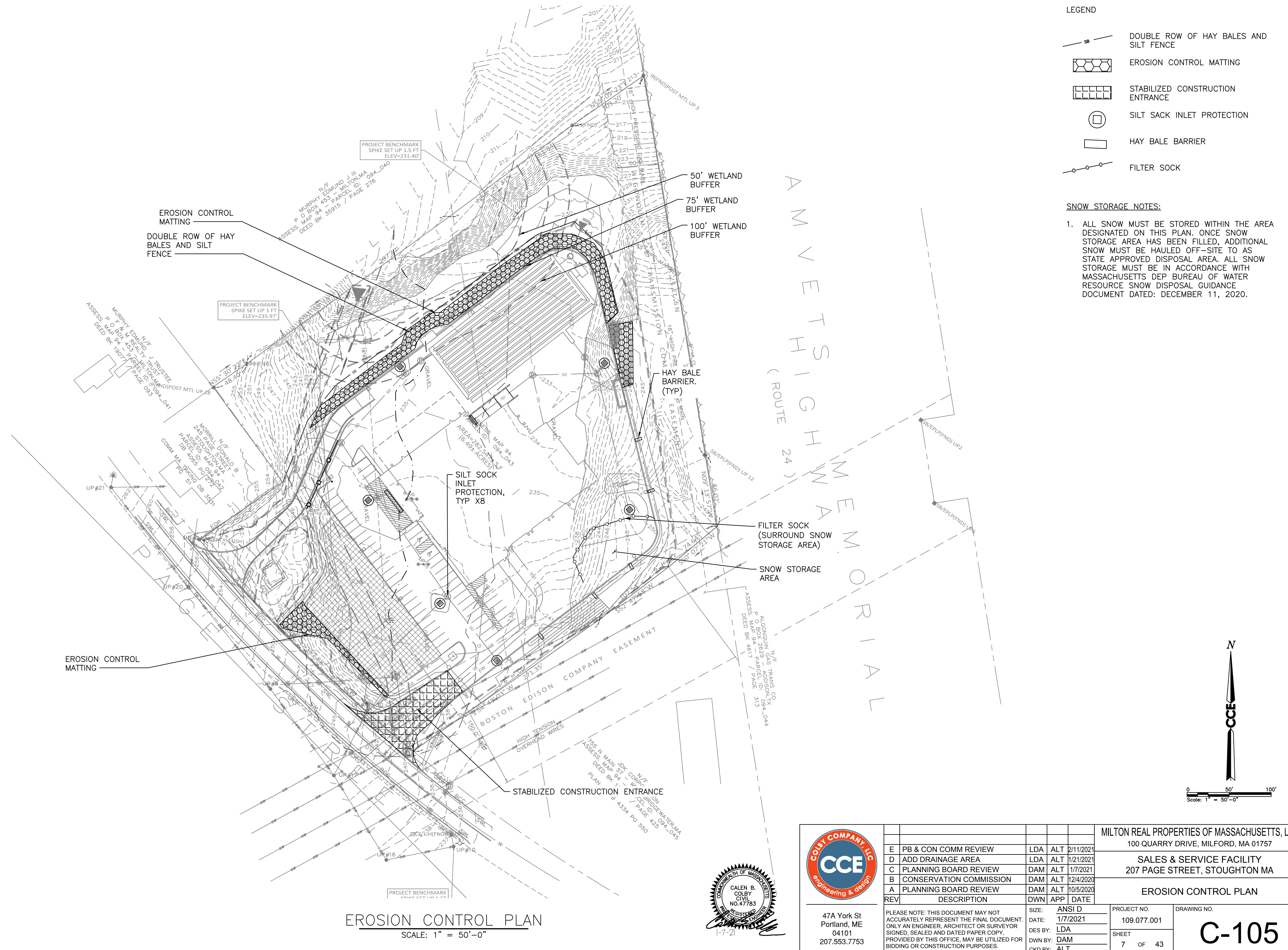
OVERALL GRADING & DRAINAGE PLAN

SCALE: 1" = 50'-0"

UNDERGROUND INFILTRATION SYSTEM

SCALE: NTS

C-104



ZONING COMPLIANCE CHART

By-Law

6.2.3.3 - One wall sign for each lot street frontage of each establishment. Shall not be > 10% of the wall area on wall they are displayed or 150sf, whichever is lesser

| Qty | Type | Elevation | Wall Area (sf) | Sign Area (allowed) | Sign Area (proposed) | % of Wall (allowed) | % of Wall (proposed) |
|-----|--------------|-----------|----------------|---------------------|----------------------|---------------------|----------------------|
| 1 | Milton CAT | West | 2,554 | 150 | 132 | 10% | 5.37% |
| 1 | Milton CAT** | South | 4,849 | 150 | 132 | 10% | 2.72% |

* All Milton CAT signs to be internally lit with white lighting.

** Waiver Requested, Special Permit App for Sign included, Fee submitted with Site Plan Application.

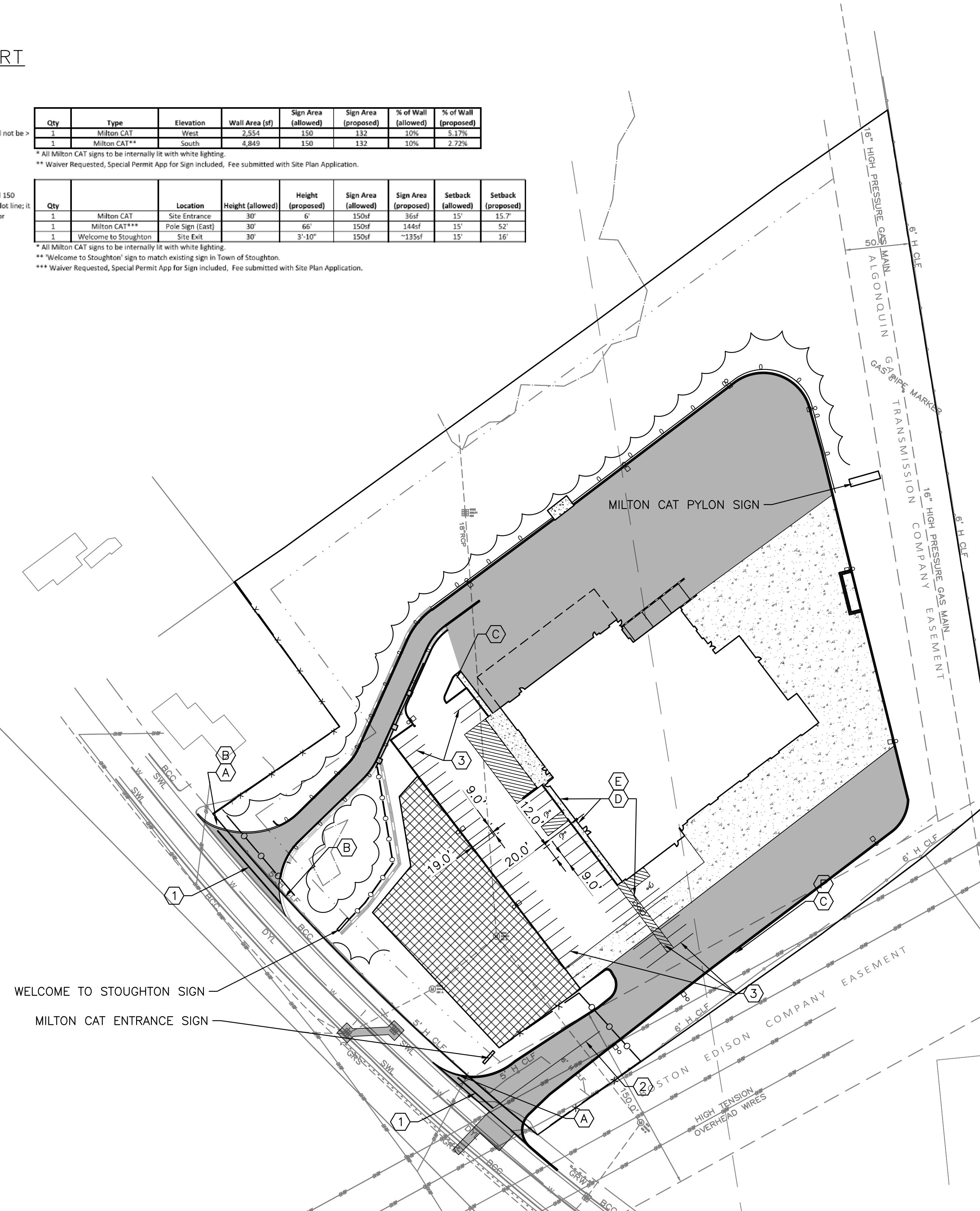
By-Law

6.2.4.2 - One ground sign for each establishment, provided: it shall not exceed 150 square feet in surface area; it shall be set back at least 15 feet from any street lot line; it shall not be erected so that any portion of it is over 30 feet above the ground or sidewalk; and if lighted, it shall be illuminated internally by white light only.

* All Milton CAT signs to be internally lit with white lighting.

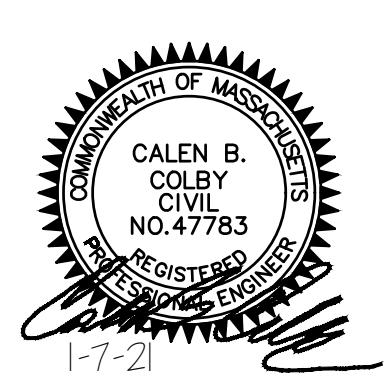
** Welcome to Stoughton sign to match existing sign in Town of Stoughton.

*** Waiver Requested, Special Permit App for Sign included, Fee submitted with Site Plan Application.



STRIPING AND SIGNAGE PLAN

SCALE: 1" = 50'-0"



CALEN B.
COLEY
CIVIL
NO. 47783
REGISTERED
ENGINEER
1-7-21

47A York St
Portland, ME
04101
207.553.7753



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PROVIDED BY THIS OFFICE, MAY BE UTILIZED FOR
BIDDING OR CONSTRUCTION PURPOSES.

| DESCRIPTION | DWN | APP | DATE | PROJECT NO. | DRAWING NO. |
|---------------------------|-----|-----|-----------|---|-------------|
| E PB & CON COMM REVIEW | LDA | ALT | 2/11/2021 | MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757 | |
| D ADD DRAINAGE AREA | LDA | ALT | 1/21/2021 | SALES & SERVICE FACILITY 207 PAGE STREET, STOUGHTON MA | |
| C PLANNING BOARD REVIEW | DAM | ALT | 1/7/2021 | | |
| B CONSERVATION COMMISSION | DAM | ALT | 12/4/2020 | | |
| A PLANNING BOARD REVIEW | DAM | ALT | 10/5/2020 | STRIPING AND SIGNAGE PLAN | |
| REV | DWN | APP | DATE | | |
| SIZE: ANSI D | | | | | |
| DATE: 1/7/2021 | | | | | |
| DES BY: LDA | | | | | |
| DWN BY: DAM | | | | | |
| CKD BY: ALT | | | | | |
| SHEET | 8 | OF | 43 | | |

C-106



WELCOME TO STOUGHTON SIGN
NTS

KEYED NOTES: SIGNS

| | |
|---|---|
| A | STOP 24" x 24" |
| B | DO NOT ENTER 30" x 30" |
| C | TRUCK TRAFFIC ONLY |
| D | HANDICAPPED PARKING SPECIAL PLATE REQUIRED UNAUTHORIZED VEHICLES MAY BE REMOVED AT OWNERS EXPENSE |
| E | RESERVED PARKING 12" x 18" |
| F | TRUCKS MUST USE NORTHERN EXIT |

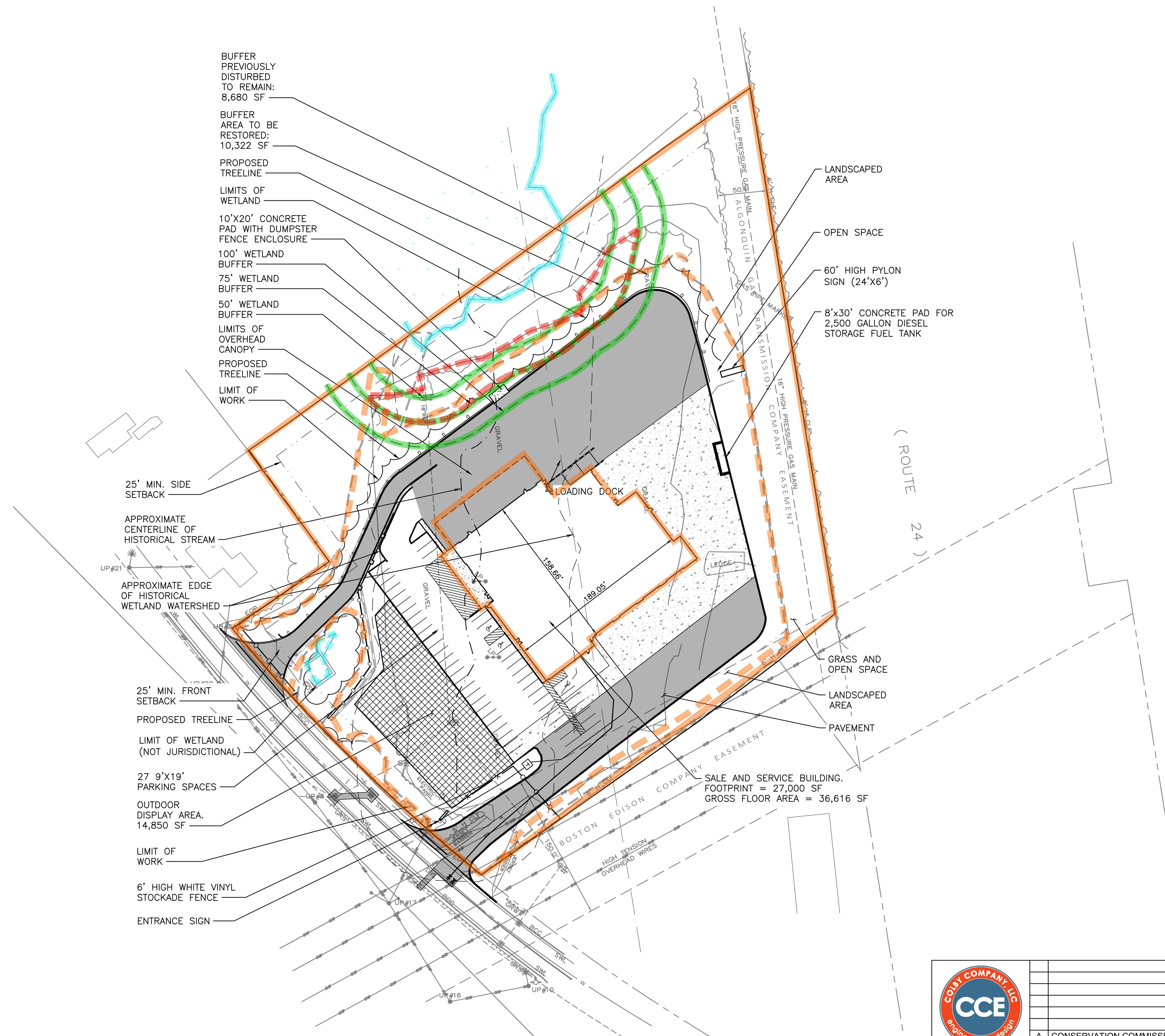
1 12' SINGLE SOLID WHITE STRIPE

2 4' SINGLE SOLID YELLOW STRIPE

3 4' SINGLE SOLID WHITE STRIPE



0 50' 100'
Scale: 1" = 50'-0"



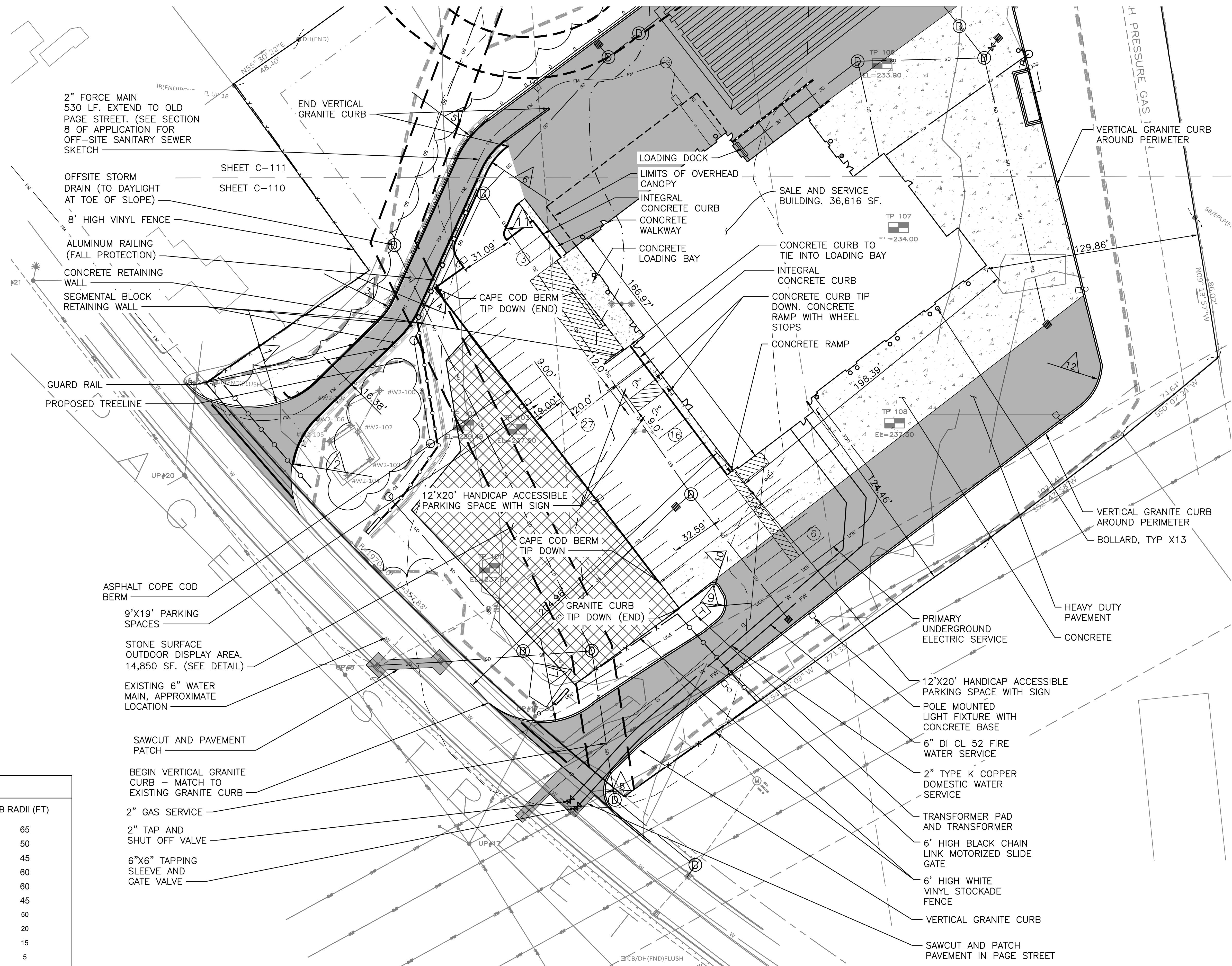
SITE PLAN – COLOR CODED

SCALE: 1" = 50'-0"



| | | | | | | | | | | | |
|--|--|---|-------------------------|-------------|-----|-------------------------|--------------------------------|---|------------------------------------|--|--|
|  | | | | | | | | MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757 | | | |
| | | | | | | | | | | | |
| | | | | | | | | SALES & SERVICE FACILITY 207 PAGE STREET, STOUGHTON MA | | | |
| | | | | | | | | | | | |
| | | A | CONSERVATION COMMISSION | | LDA | ALT | 12/03/20 | | SITE PLAN -CONSERVATION COMMISSION | | |
| | | | REV | DESCRIPTION | | DWN | APP | DATE | | | |
| <p>PLEASE NOTE: THIS DOCUMENT MAY NOT ACCURATELY REPRESENT THE FINAL DOCUMENT. ONLY AN ENGINEER, ARCHITECT OR SURVEYOR SIGNED, SEALED AND DATED PAPER COPY, PROVIDED BY THIS OFFICE, MAY BE UTILIZED FOR BIDDING OR CONSTRUCTION PURPOSES.</p> | | | | | | SIZE: <u>ANSI D</u> | PROJECT NO. <u>109.077.001</u> | DRAWING NO. | | | |
| | | | | | | | | | | | |
| | | | | | | DATE: <u>12/03/2020</u> | DES BY: <u>LDA</u> | SHEET <u>1</u> OF <u>1</u> | | | |
| | | | | | | | | | | | |
| | | | | | | DWN BY: <u>DAM</u> | CKD BY: <u>ALT</u> | | | | |
| | | | | | | | | | | | |

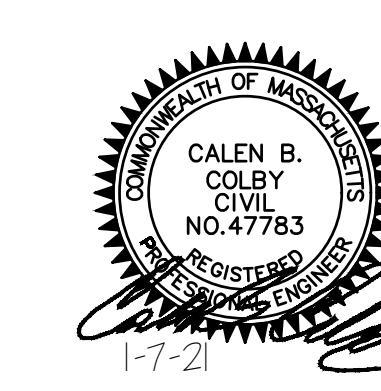
FIG. 1



| CURB RADII | |
|------------|-----------------|
| CURB | CURB RADII (FT) |
| 1 | 65 |
| 2 | 50 |
| 3 | 45 |
| 4 | 60 |
| 5 | 60 |
| 6 | 45 |
| 7 | 50 |
| 8 | 20 |
| 9 | 15 |
| 10 | 5 |
| 11 | 15 |
| 12 | 30 |
| 13 | 30 |

SITE PLAN (1 OF 2)

SCALE: 1" = 30'-0"



| E | PB & CON COMM REVIEW | LDA | ALT | 2/11/2021 | MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757 SALES & SERVICE FACILITY 207 PAGE STREET, STOUGHTON MA SITE PLAN (1 OF 2) |
|--|-------------------------|-----|---------|-----------|---|
| D | ADD DRAINAGE AREA | LDA | ALT | 1/21/2021 | |
| C | PLANNING BOARD REVIEW | DAM | ALT | 1/7/2021 | |
| B | CONSERVATION COMMISSION | DAM | ALT | 12/4/2020 | |
| A | PLANNING BOARD REVIEW | DAM | ALT | 10/5/2020 | |
| REV | DESCRIPTION | DWN | APP | DATE | |
| <p>PLEASE NOTE: THIS DOCUMENT MAY NOT ACCURATELY REPRESENT THE FINAL DOCUMENT. ONLY AN ENGINEER, ARCHITECT OR SURVEYOR SIGNED, SEALED AND DATED PAPER COPY, PROVIDED BY THIS OFFICE, MAY BE UTILIZED FOR BIDDING OR CONSTRUCTION PURPOSES.</p> | | | SIZE: | ANSI D | PROJECT NO. 109.077.001 SHEET 10 OF 43 |
| | | | DATE: | 1/7/2021 | |
| | | | DES BY: | LDA | |
| | | | DWN BY: | DAM | |
| | | | CKD BY: | ALT | |

NOTES:

1. PROPERTY IS IDENTIFIED AS TAX MAP 94 LOT 43.
2. RECORD OWNER: JF WHITE CONTRACTING CO. 56 OLD PAGE STREET, STOUGHTON MA.
3. THE TOTAL AREA OF MAP 94 LOT 43 IS 282,663 SF OR 6.49 ACRES.
4. THE PROPOSED DEVELOPMENT TO INCLUDE:
36,616 SF BUILDING

5. PROPERTY IS LOCATED IN INDUSTRIAL (I) ZONE.
6. PROPERTY IS NOT LOCATED WITHIN THE FEMA 100 YEAR FLOOD PLAIN.
7. MAXIMUM BUILDING AREA CALCULATION:

LOT AREA: 282,663 SF
BUILDING AREA: 36,616 SF
BUILDING AREA: 9.6% < 50% ALLOWED

| 8. LOT STANDARDS: | REQUIRED | PROVIDED |
|-----------------------|-----------|------------|
| MIN. LOT SIZE: | 80,000 SF | 282,663 SF |
| MIN. FRONTAGE: | 150 LF | 358 LF |
| MIN. FRONT SETBACK: | 25 FT | 189 FT |
| MIN. REAR SETBACK: | 40 FT | N/A |
| MIN. SIDE SETBACK: | 20 FT | 140 FT |
| MAX. BUILDING HEIGHT: | 40 FT | 32 FT |
| OPEN SPACE: | 70,666 SF | 72,250 SF |

9. PARKING CALCULATIONS: (PURSUANT TO TOWN OF STOUGHTON TABLE OF OFF-STREET PARKING REGULATIONS)

5. NEW AND USED CAR SALES AND AUTOMOTIVE SERVICE ESTABLISHMENT AND OTHER RETAIL AND SERVICE ESTABLISHMENT UTILIZING EXTENSIVE DISPLAY AREAS, EITHER INDOOR OR OUTDOOR WHICH ARE UNUSUALLY EXTENSIVE IN RELATION TO CUSTOMER TRAFFIC.

36,616 SF GROSS FLOOR AREA / 1 PER 1,000 SF =====36.6
TOTAL SPACES REQUIRED ===== 37
TOTAL SPACES PROVIDED = 50 > 37

LEGEND

| | |
|--|--|
| | CHAIN LINK FENCE |
| | STOCKADE FENCE |
| | LIMITS OF WORK |
| | GUARD RAIL |
| | ALUMINUM RAILING |
| | SEGMENTAL BLOCK RETAINING WALL |
| | # OF PARKING SPACES |
| | OUTDOOR DISPLAY AREA |
| | CONCRETE |
| | HEAVY DUTY PAVEMENT |
| | POLE MOUNTED LIGHT FIXTURE W/ CONCRETE BASE |
| | CURB RADII SYMBOL |

N
CCE

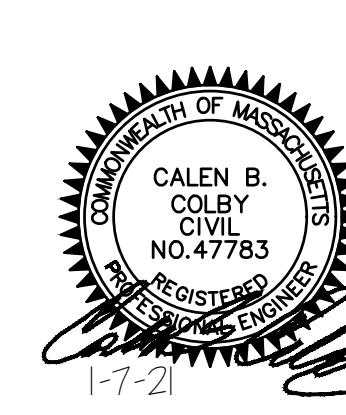
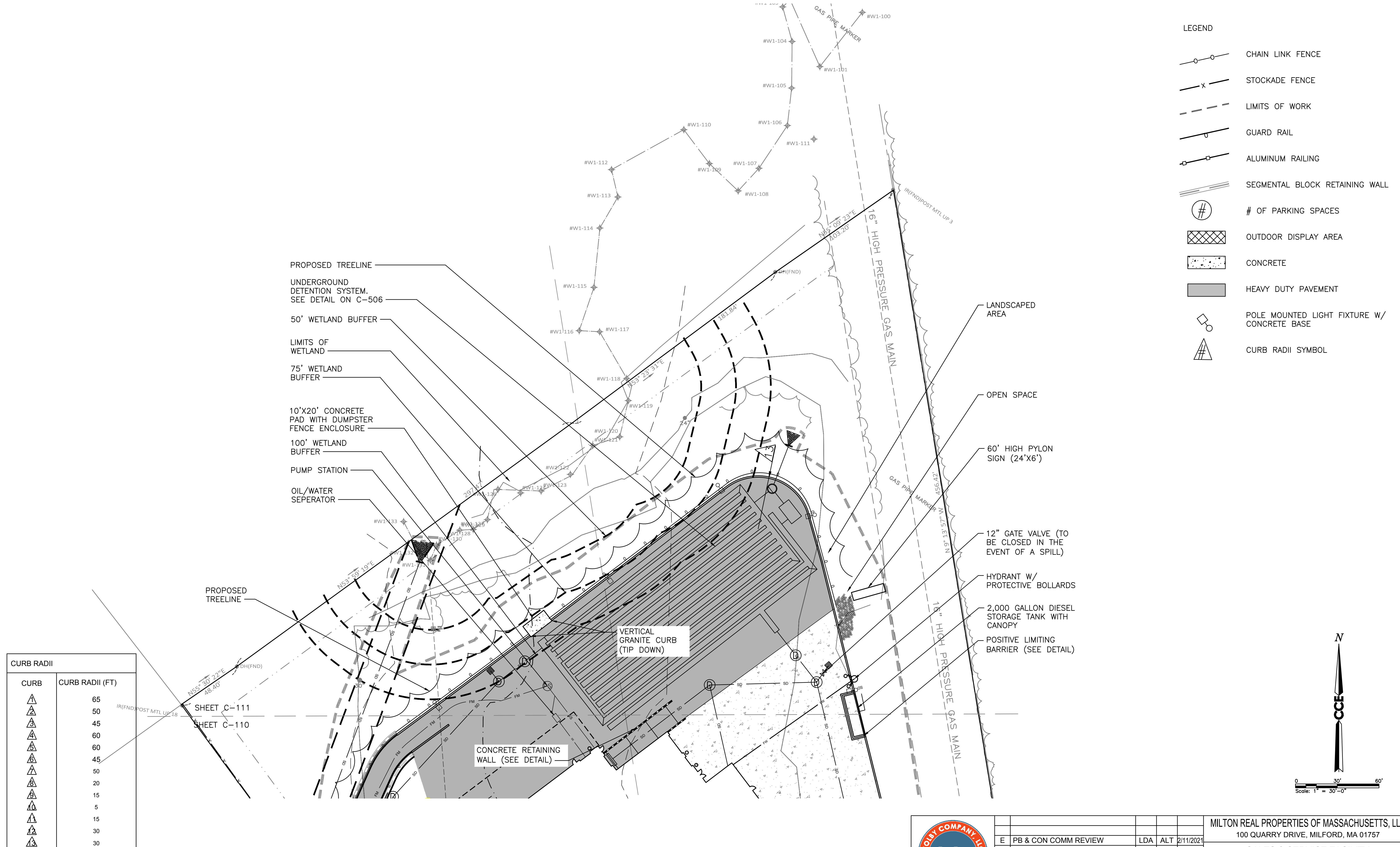


A scale bar at the top of the page shows distances of 0, 30', and 60'. Below it, the text "Scale: 1" = 30'-0" is printed. The bottom of the page features the text "TIES OF MASSACHUSETTS" in large, bold, capital letters, with the letter "I" partially cut off on the right edge.

RRY DRIVE, MILFORD, MA 01747
ES & SERVICE FACILITY
E STREET, STOUGHTON
SITE PLAN (1 OF 2)

| SITE PLAN (1 OF 2) | |
|--------------------|-------------|
| 1 | DRAWING NO. |
| 3 | C-11 |

C-110



SITE PLAN (2 OF 2)

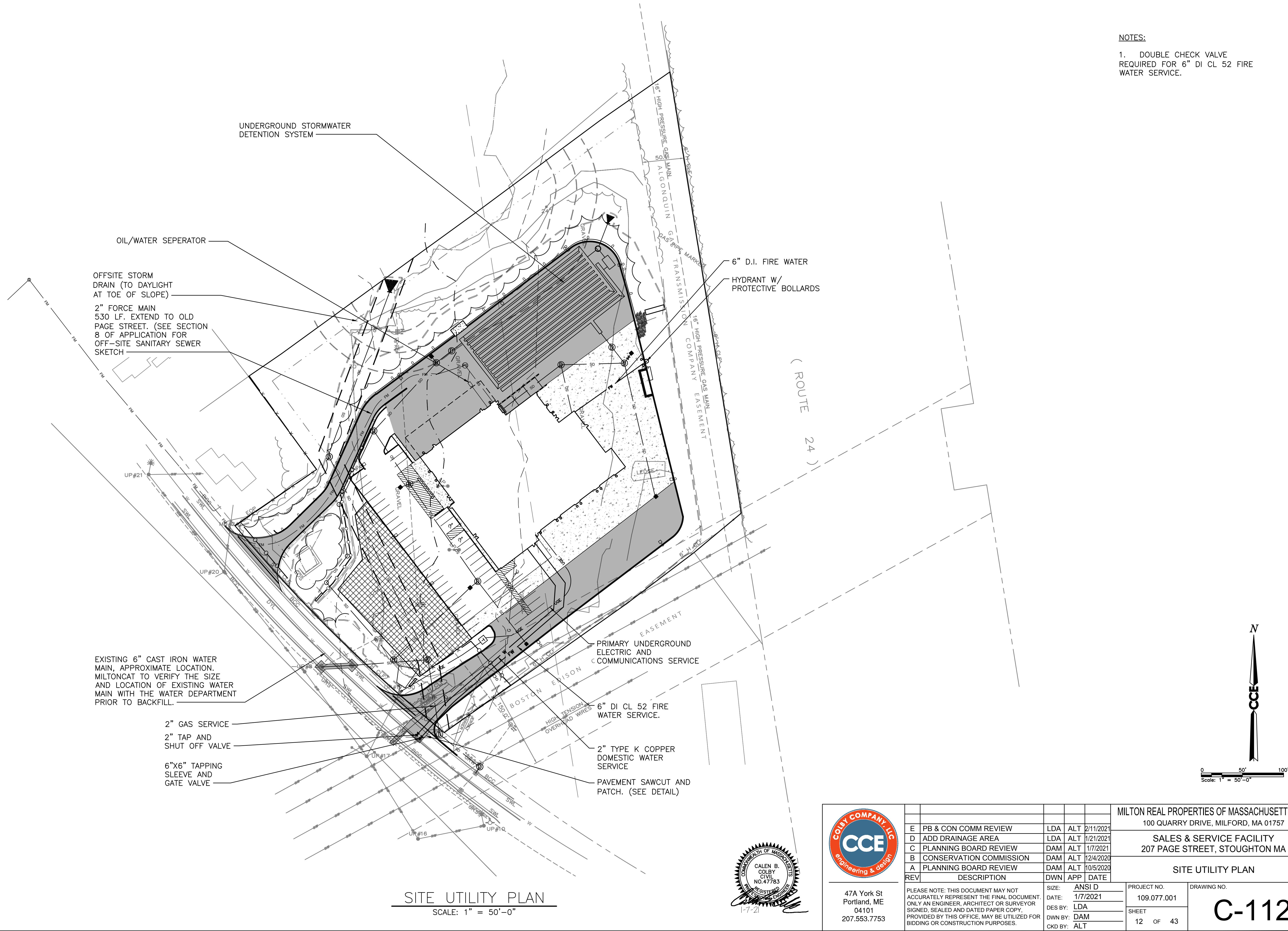
SCALE: 1" = 30'-0"

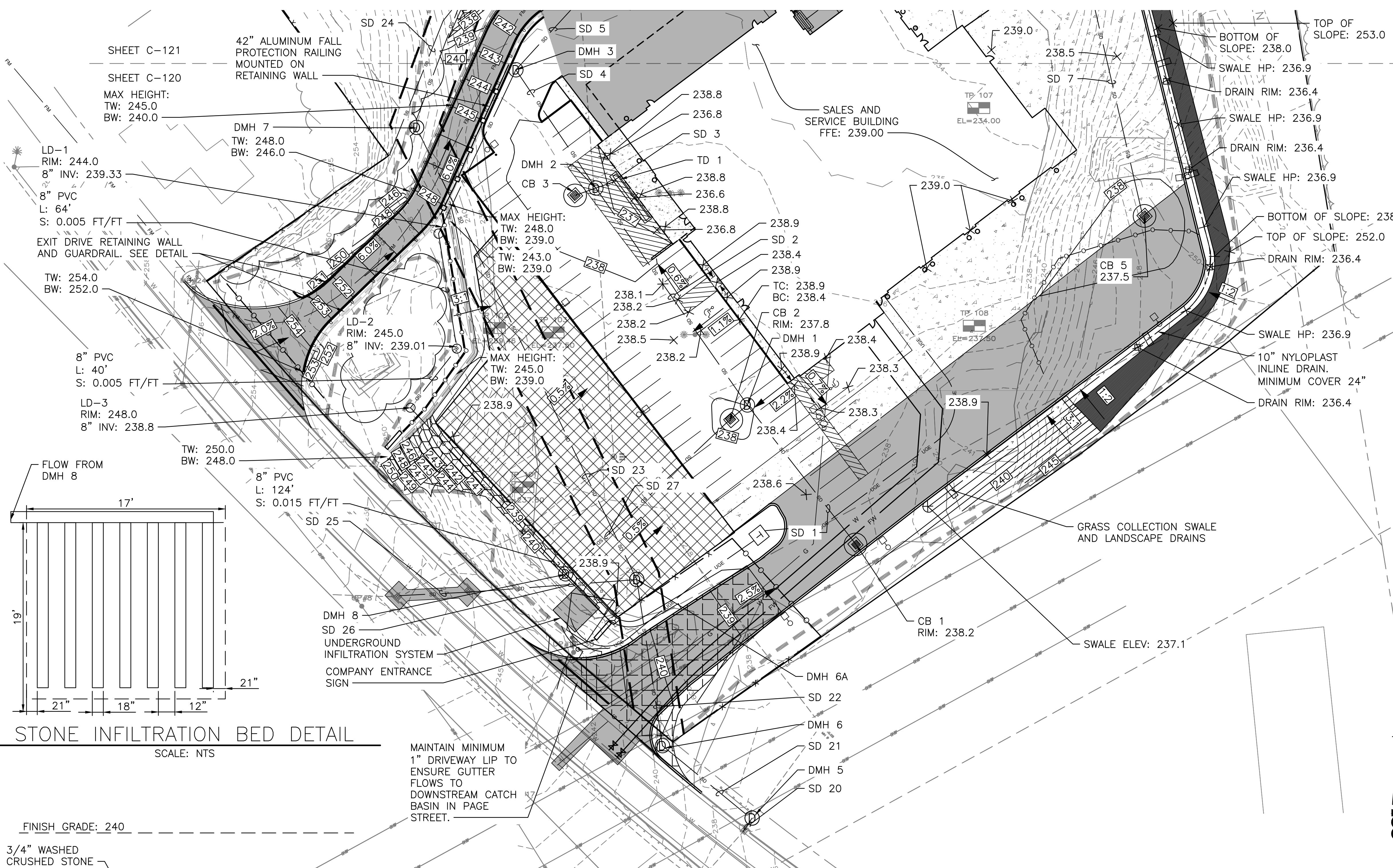
| CURB RADII | |
|------------|-----------------|
| CURB | CURB RADII (FT) |
| 1 | 65 |
| 2 | 50 |
| 3 | 45 |
| 4 | 60 |
| 5 | 60 |
| 6 | 45 |
| 7 | 50 |
| 8 | 20 |
| 9 | 15 |
| 10 | 5 |
| 11 | 15 |
| 12 | 30 |
| 13 | 30 |

The logo for Colby Company, LLC is a circular emblem. The outer ring is red with the company name "COLBY COMPANY, LLC" printed in white, sans-serif capital letters. The inner circle is blue, featuring the letters "CCE" in large, white, bold, sans-serif capital letters. Below "CCE", the words "engineering & design" are written in a smaller, white, sans-serif font, also in an arc.

| | | | | | |
|---|-------------------------|---------|----------|-------------|---|
| | | | | | <p>MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757</p> <p>SALES & SERVICE FACILITY 207 PAGE STREET, STOUGHTON MA</p> <p>SITE PLAN (2 OF 2)</p> |
| E | PB & CON COMM REVIEW | LDA | ALT | 2/11/2021 | |
| D | ADD DRAINAGE AREA | LDA | ALT | 1/21/2021 | |
| C | PLANNING BOARD REVIEW | DAM | ALT | 1/7/2021 | |
| B | CONSERVATION COMMISSION | DAM | ALT | 12/4/2020 | |
| A | PLANNING BOARD REVIEW | DAM | ALT | 10/5/2020 | |
| REV | DESCRIPTION | DWN | APP | DATE | |
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| | | DATE: | 1/7/2021 | 109.077.001 | |
| | | DES BY: | LDA | SHEET | |
| | | DWN BY: | DAM | 11 | OF |
| | | CKD BY: | ALT | 43 | |
| C-111 | | | | | |

C-111





GRADING & DRAINAGE PLAN (1 OF 2)

SCALE: 1" = 30'-0"

| DRAINAGE STRUCTURES | | |
|---|---|--|
| CB 1 RIM: 238.20 INV OUT: 233.82 | CB 5 RIM: 237.50 INV OUT: 232.38 | DMH 3 RIM: 238.30 INV IN: 232.08 |
| CB 2 RIM: 237.8 INV IN: 233.53 INV OUT: 233.43 | CB 6 RIM: 237.50 INV OUT: 231.58 | INV IN: 231.46 INV OUT: 231.36 |
| CB 3 RIM: 237.35 INV IN: 233.35 INV OUT: 231.34 | DMH 3A RIM: 238.00 INV IN: 231.44 | HDS 2 RIM: 238.00 INV IN: 231.25 |
| CB 4 RIM: 237.70 INV OUT: 231.52 | DMH 1 RIM: 238.00 INV IN: 231.44 | INV OUT: 231.00 |
| HDS 1 RIM: 238.10 INV IN: 231.10 INV OUT: 231.00 | DMH 2 RIM: 237.20 INV IN: 232.28 | TD 2 RIM: 235.00 |
| DMH 5 RIM: 237.5 INV OUT: 231.5 | DMH 6A RIM: 239.8 INV IN: 230.67 | UNDERGROUND DETENTION INV OUT: 233.12 |
| DMH 6 RIM: 240.0 INV IN: 231.21 | DMH 7 RIM: 239.0 INV IN: 229.22 | DMH 8 RIM: 240.0 INV IN: 237.0 |
| DMH 8 RIM: 240.0 INV OUT: 237.0 | 8" INV OUT: 237.0 | TOP OF WEIR: 239.0 |

| PIPE SCHEDULE | | |
|---|--|--|
| SD 1 (CB 1 - DMH-1) DIAMETER: 12" PIPE LENGTH: 91' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE | SD 7 (CB 5 - DMH-4A) DIAMETER: 18" PIPE LENGTH: 184' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE | SD 21 (DMH 5 - DMH 6) DIAMETER: 24" PIPE LENGTH: 57' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE |
| SD 2 (DMH-1 - DMH-2) DIAMETER: 18" PIPE LENGTH: 136' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE | SD 8 (DMH-4 - DMH-4A) DIAMETER: 24" PIPE LENGTH: 72' SLOPE(FT/FT): 0.010 TYPE: CORRUGATED HDPE | SD 22 (DMH 6 - DMH 6A) DIAMETER: 24" PIPE LENGTH: 89' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE |
| SD 3 (TD 1 - DMH-2) DIAMETER: 8" PIPE LENGTH: 26' SLOPE(FT/FT): 0.005 TYPE: PVC SMOOTH INTERIOR | SD 9 (DMH-4A - HDS-2) DIAMETER: 24" PIPE LENGTH: 11' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE | SD 23 (DMH 6A - DMH 7) DIAMETER: 24" PIPE LENGTH: 270' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE |
| SD 4 (DMH-2 - DMH 3) DIAMETER: 24" PIPE LENGTH: 74' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE | SD 10 (RD 1 - DMH 4) DIAMETER: 24" PIPE LENGTH: 33' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE | SD 24 (DMH 7 - OUTLET) DIAMETER: 24" PIPE LENGTH: 180' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE |
| SD 5 (DMH 3 - DMH 3A) DIAMETER: 24" PIPE LENGTH: 109' SLOPE(FT/FT): 0.005 TYPE: CORRUGATED HDPE | SD 11 (TD 2 - DMH 4) DIAMETER: 8" PIPE LENGTH: 84' SLOPE(FT/FT): 0.010 TYPE: PVC SMOOTH INTERIOR | SD 25 (XCB-2 - XCB-1) DIAMETER: 18" PIPE LENGTH: 35' SLOPE(FT/FT): 0.0851 TYPE: RCP |
| SD 6 (DMH-3A - HDS-1) DIAMETER: 24" PIPE LENGTH: 47' SLOPE(FT/FT): 0.010 TYPE: CORRUGATED HDPE | SD 26 (XCB-1 - DMH-6A) DIAMETER: 18" PIPE LENGTH: 88' SLOPE(FT/FT): 0.1302 TYPE: CORRUGATED HDPE | SD-26 (XCB-1 - DMH-6A) DIAMETER: 18" PIPE LENGTH: 88' SLOPE(FT/FT): 0.1302 TYPE: CORRUGATED HDPE |
| SD-27 (DMH 8 - CB 2) DIAMETER: 8" PIPE LENGTH: 123' SLOPE(FT/FT): 0.0351 TYPE: PVC | SD-27 (DMH 8 - CB 2) DIAMETER: 8" PIPE LENGTH: 123' SLOPE(FT/FT): 0.0351 TYPE: PVC | |

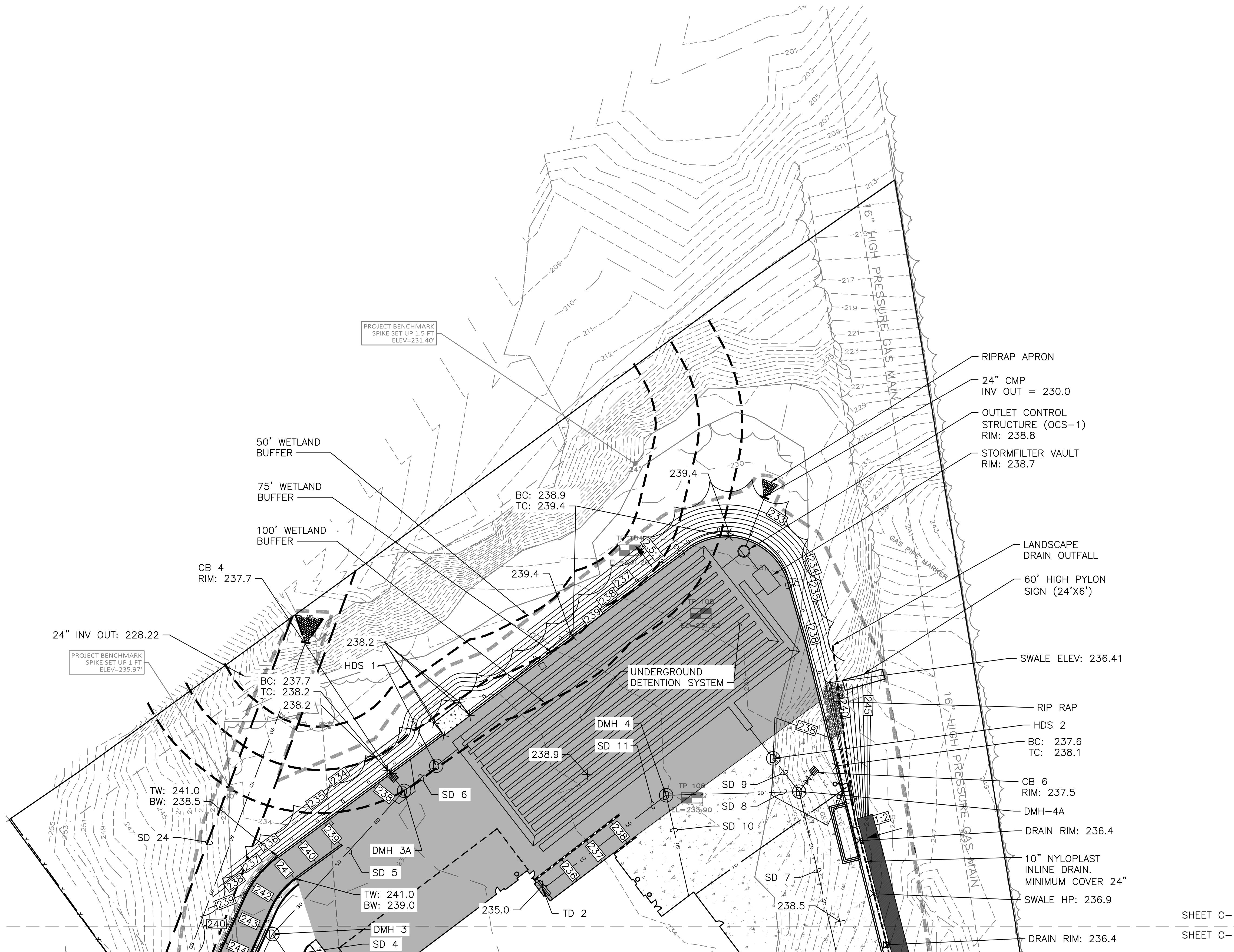


47A York St
Portland, ME
04101
207.553.7753

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F ADDRESS ENGINEER COMMENTS LDA ALT 2/23/21
E PB & CON COMM REVIEW LDA ALT 2/11/2021
D ADD DRAINAGE AREA LDA ALT 1/21/2021
C PLANNING BOARD REVIEW DAM ALT 1/7/2021
B CONSERVATION COMMISSION DAM ALT 12/4/2020
A PLANNING BOARD REVIEW DAM ALT 10/5/2020
REV DESCRIPTION DWN APP DATE
SIZE: ANSI D
DATE: 1/7/2021
DES BY: LDA
DWN BY: DAM
CKD BY: ALT

| | | |
|--|-------------|-------------|
| MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC | | |
| 100 QUARRY DRIVE, MILFORD, MA 01757 | | |
| SALES & SERVICE FACILITY | | |
| 207 PAGE STREET, STOUGHTON MA | | |
| GRADING & DRAINAGE PLAN (1 OF 2) | | |
| PROJECT NO. | 109.077.001 | DRAWING NO. |
| SHEET | 13 OF 43 | C-120 |



| DRAINAGE STRUCTURES | | | |
|--|--|--|--|
| CB 1 RIM: 238.20 INV OUT: 233.82 | CB 5 RIM: 237.50 INV OUT: 232.38 | DMH 3 RIM: 238.30 INV IN: 232.08 INV IN: 231.46 INV IN: 231.46 INV OUT: 231.36 | DMH 4A RIM: 237.80 INV IN: 231.46 INV IN: 231.46 INV OUT: 231.36 |
| CB 2 RIM: 237.8 INV OUT: 233.43 | CB 6 RIM: 237.50 INV OUT: 231.58 | DMH 3A RIM: 238.00 INV IN: 231.44 INV IN: 231.44 INV OUT: 231.34 | HDS 2 RIM: 238.00 INV IN: 231.25 INV OUT: 231.00 |
| CB 3 RIM: 237.35 INV OUT: 232.63 | CB 4 RIM: 237.70 INV OUT: 231.52 | DMH 4 RIM: 238.60 INV IN: 232.28 INV IN: 232.28 | TD 1 RIM: 235.00 INV OUT: 232.78 |
| CB 4 RIM: 237.70 INV OUT: 231.52 | HDS 1 RIM: 238.10 INV IN: 231.10 INV OUT: 232.64 | DMH 2 RIM: 237.20 INV IN: 232.28 INV IN: 232.28 | TD 2 RIM: 235.00 INV OUT: 233.12 |
| HDS 1 RIM: 238.10 INV IN: 231.10 INV OUT: 232.64 | TD 1 RIM: 235.00 INV OUT: 232.78 | UNDERGROUND DETENTION INV OUT: 231.00 | |
| TD 1 RIM: 235.00 INV OUT: 232.78 | DMH 5 RIM: 237.5 INV OUT: 231.5 | DMH 6 RIM: 240.0 INV IN: 231.21 INV OUT: 230.57 | DMH 7 RIM: 239.8 INV IN: 229.22 INV OUT: 229.12 |
| DMH 5 RIM: 237.5 INV OUT: 231.5 | DMH 6 RIM: 240.0 INV IN: 231.21 INV OUT: 230.57 | DMH 8 RIM: 240.0 INV IN: 238.0 INV OUT: 239.75 | |
| DMH 6 RIM: 240.0 INV IN: 231.21 INV OUT: 230.57 | TOP OF WEIR: 239.75 | | |

| PIPE SCHEDULE | | | |
|-----------------------|---------------------------|------------------------|--|
| SD 1 (CB 1 - DMH-1) | SD 7 (CB 5 - DMH-4A) | SD 21 (DMH 5 - DMH 6) | |
| DIAMETER: 12" | DIAMETER: 18" | DIAMETER: 24" | |
| PIPE LENGTH: 91' | PIPE LENGTH: 184' | PIPE LENGTH: 57' | |
| SLOPE(FT/FT): 0.005 | SLOPE(FT/FT): 0.005 | SLOPE(FT/FT): 0.005 | |
| TYPE: CORRUGATED HDPE | TYPE: CORRUGATED HDPE | TYPE: CORRUGATED HDPE | |
| SD 2 (DMH-1 - DMH-2) | SD 8 (DMH-4 - DMH-4A) | SD 22 (DMH 6 - DMH 6A) | |
| DIAMETER: 18" | DIAMETER: 24" | DIAMETER: 24" | |
| PIPE LENGTH: 136' | PIPE LENGTH: 72' | PIPE LENGTH: 89' | |
| SLOPE(FT/FT): 0.005 | SLOPE(FT/FT): 0.010 | SLOPE(FT/FT): 0.005 | |
| TYPE: CORRUGATED HDPE | TYPE: CORRUGATED HDPE | TYPE: CORRUGATED HDPE | |
| SD 3 (TD 1 - DMH-2) | SD 9 (DMH-4A - HDS-2) | SD 23 (DMH 6A - DMH 7) | |
| DIAMETER: 8" | DIAMETER: 24" | DIAMETER: 24" | |
| PIPE LENGTH: 26' | PIPE LENGTH: 11' | PIPE LENGTH: 270' | |
| SLOPE(FT/FT): 0.005 | SLOPE(FT/FT): 0.005 | SLOPE(FT/FT): 0.005 | |
| TYPE: CORRUGATED HDPE | TYPE: CORRUGATED HDPE | TYPE: CORRUGATED HDPE | |
| SD 4 (DMH-2 - DMH 3) | SD 10 (RD 1 - DMH 4) | SD 24 (DMH 7 - OUTLET) | |
| DIAMETER: 24" | DIAMETER: 24" | DIAMETER: 24" | |
| PIPE LENGTH: 74' | PIPE LENGTH: 33' | PIPE LENGTH: 180' | |
| SLOPE(FT/FT): 0.005 | SLOPE(FT/FT): 0.005 | SLOPE(FT/FT): 0.005 | |
| TYPE: CORRUGATED HDPE | TYPE: CORRUGATED HDPE | TYPE: CORRUGATED HDPE | |
| SD 5 (DMH 3 - DMH 3A) | SD 11 (TD 2 - DMH 4) | SD 25 (XCB-2 - XCB-1) | |
| DIAMETER: 24" | DIAMETER: 8" | DIAMETER: 18" | |
| PIPE LENGTH: 109' | PIPE LENGTH: 35' | PIPE LENGTH: 35' | |
| SLOPE(FT/FT): 0.005 | SLOPE(FT/FT): 0.010 | SLOPE(FT/FT): 0.0851 | |
| TYPE: CORRUGATED HDPE | TYPE: PVC SMOOTH INTERIOR | TYPE: RCP | |
| SD 6 (DMH-3A - HDS-1) | SD 12 (XCB-4 - DMH5) | SD-26 (XCB-1 - DMH-6A) | |
| DIAMETER: 15" | DIAMETER: 15" | DIAMETER: 18" | |
| PIPE LENGTH: 47' | PIPE LENGTH: 4' | PIPE LENGTH: 88' | |
| SLOPE(FT/FT): 0.010 | SLOPE(FT/FT): 0.0100 | SLOPE(FT/FT): 0.1302 | |
| TYPE: CORRUGATED HDPE | TYPE: CORRUGATED HDPE | TYPE: CORRUGATED HDPE | |
| SD 7 (CB 5 - DMH-4A) | SD 13 (XCB-1 - DMH-6A) | SD-27 (DMH 8 - CB 2) | |
| DIAMETER: 18" | DIAMETER: 18" | DIAMETER: 8" | |
| PIPE LENGTH: 184' | PIPE LENGTH: 88' | PIPE LENGTH: 123' | |
| SLOPE(FT/FT): 0.005 | SLOPE(FT/FT): 0.1302 | SLOPE(FT/FT): 0.0351 | |
| TYPE: CORRUGATED HDPE | TYPE: CORRUGATED HDPE | TYPE: PVC | |



1-7-21

207.553.7753

47A York St
Portland, ME
04101

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F ADDRESS ENGINEER COMMENTS LDA ALT 2/23/21

E PB & CON COMM REVIEW LDA ALT 2/11/2021

D ADD DRAINAGE AREA LDA ALT 1/21/2021

C PLANNING BOARD REVIEW DAM ALT 1/7/2021

B CONSERVATION COMMISSION DAM ALT 12/4/2020

A PLANNING BOARD REVIEW DAM ALT 10/5/2020

REV DESCRIPTION DWN APP DATE

SIZE: ANSI D

DES BY: LDA

DWN BY: DAM

CKD BY: ALT

PROJECT NO. 109.077.001

DRAWING NO.

14 OF 43

MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC
100 QUARRY DRIVE, MILFORD, MA 01757

SALES & SERVICE FACILITY
207 PAGE STREET, STOUGHTON MA

GRADING & DRAINAGE PLAN (2 OF 2)

GRADING & DRAINAGE PLAN (2 OF 2)

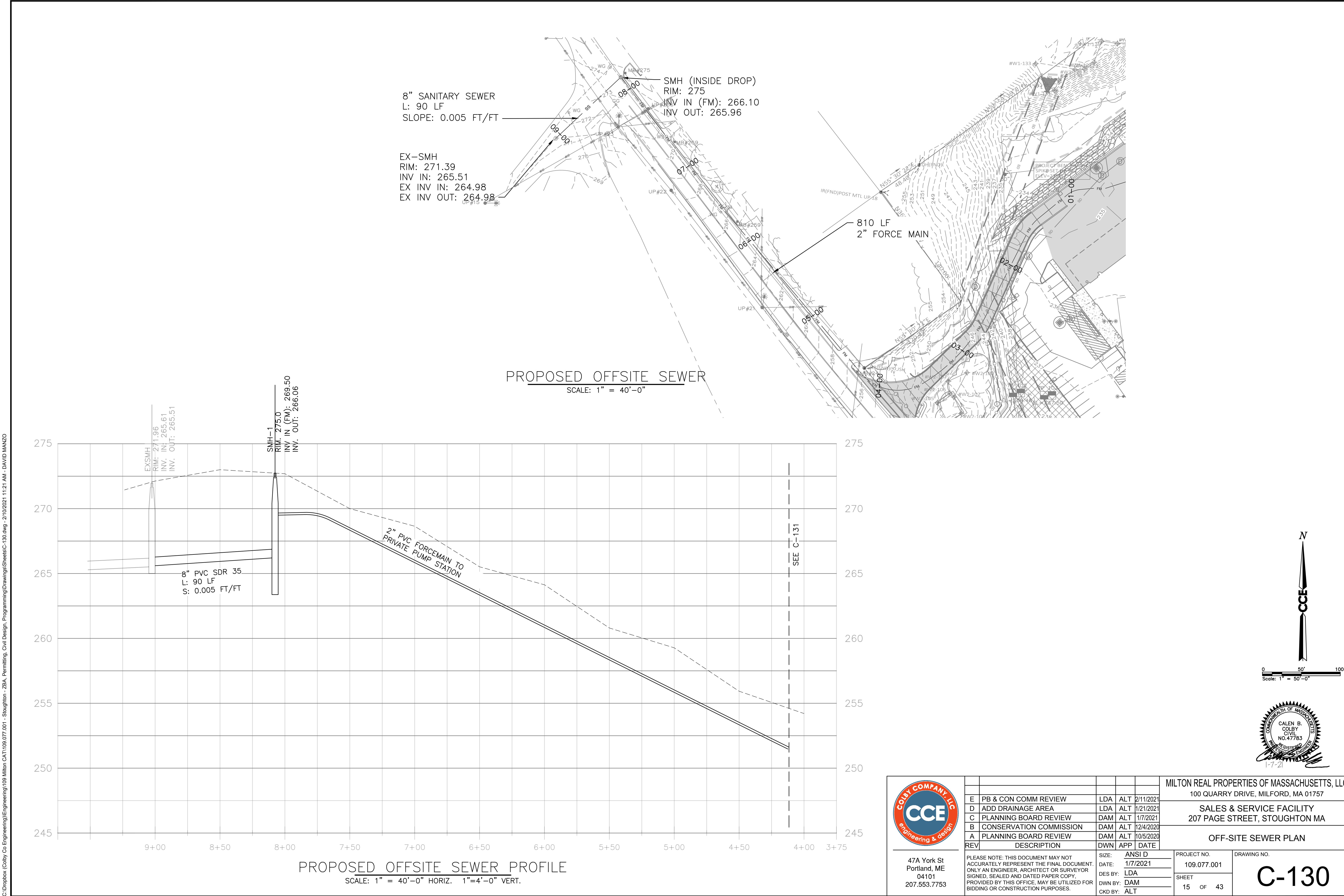
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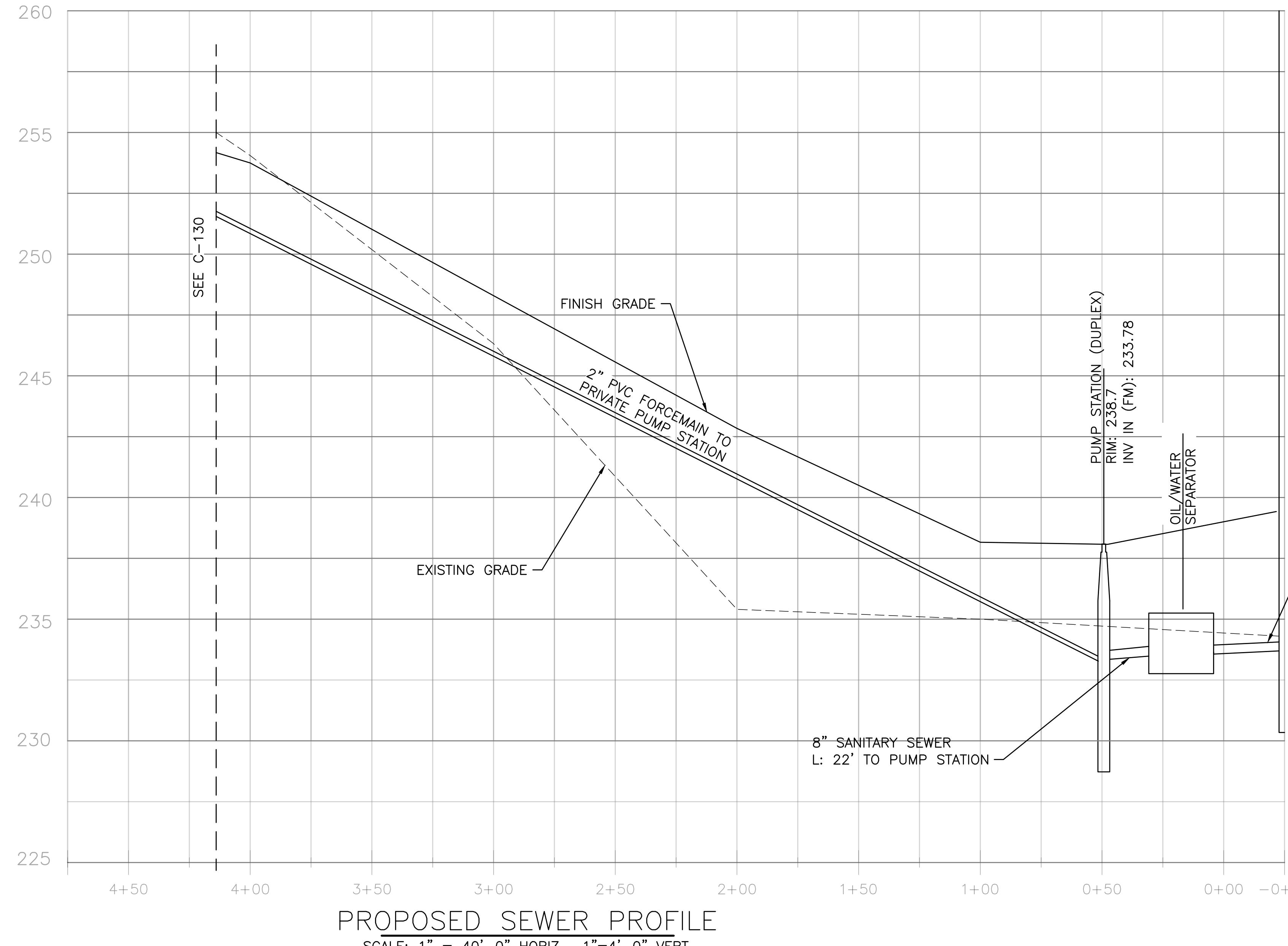
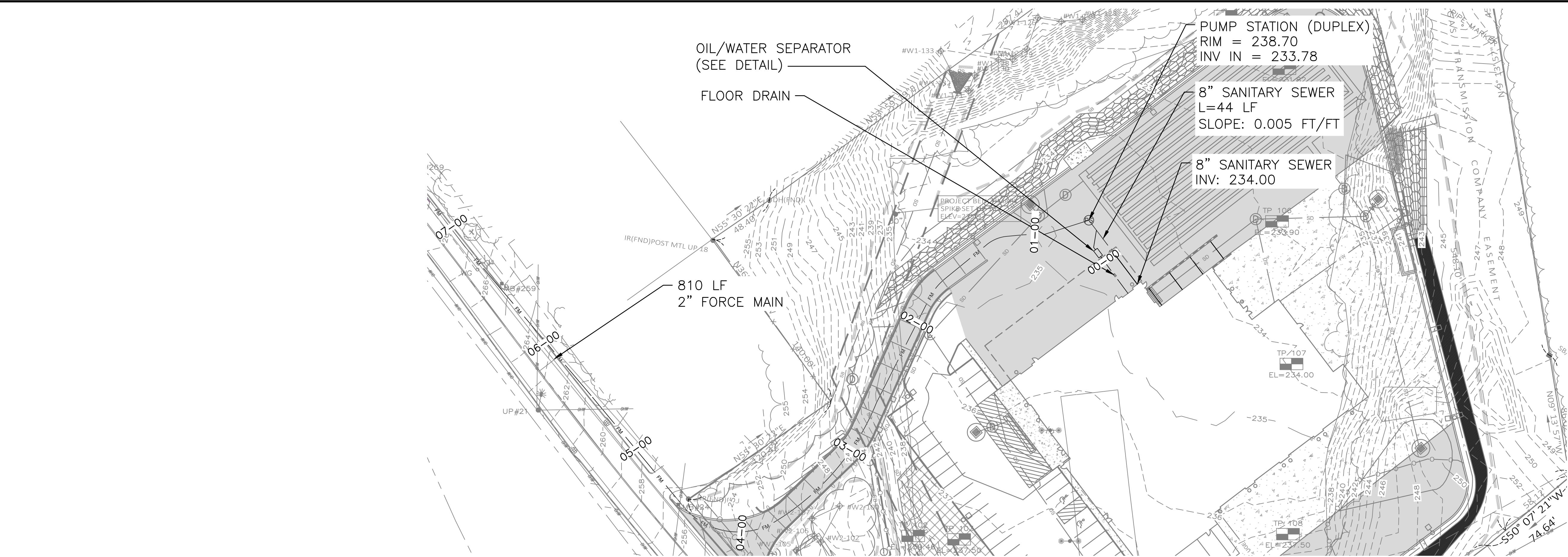
0 30' 60'

Scale: 1" = 30'-0"

C-121

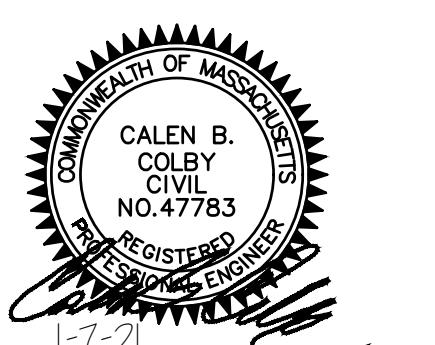
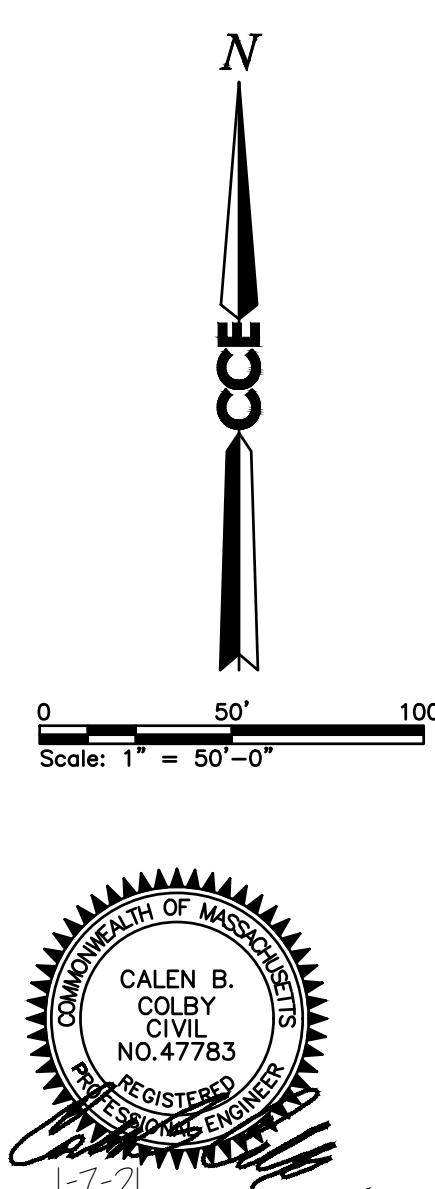
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PROPOSED SEWER PLAN

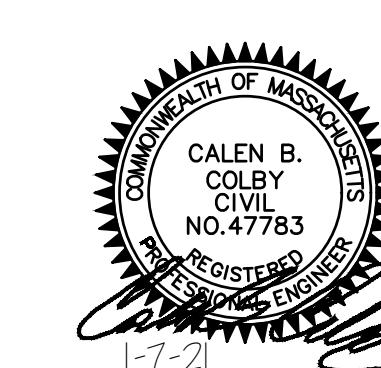
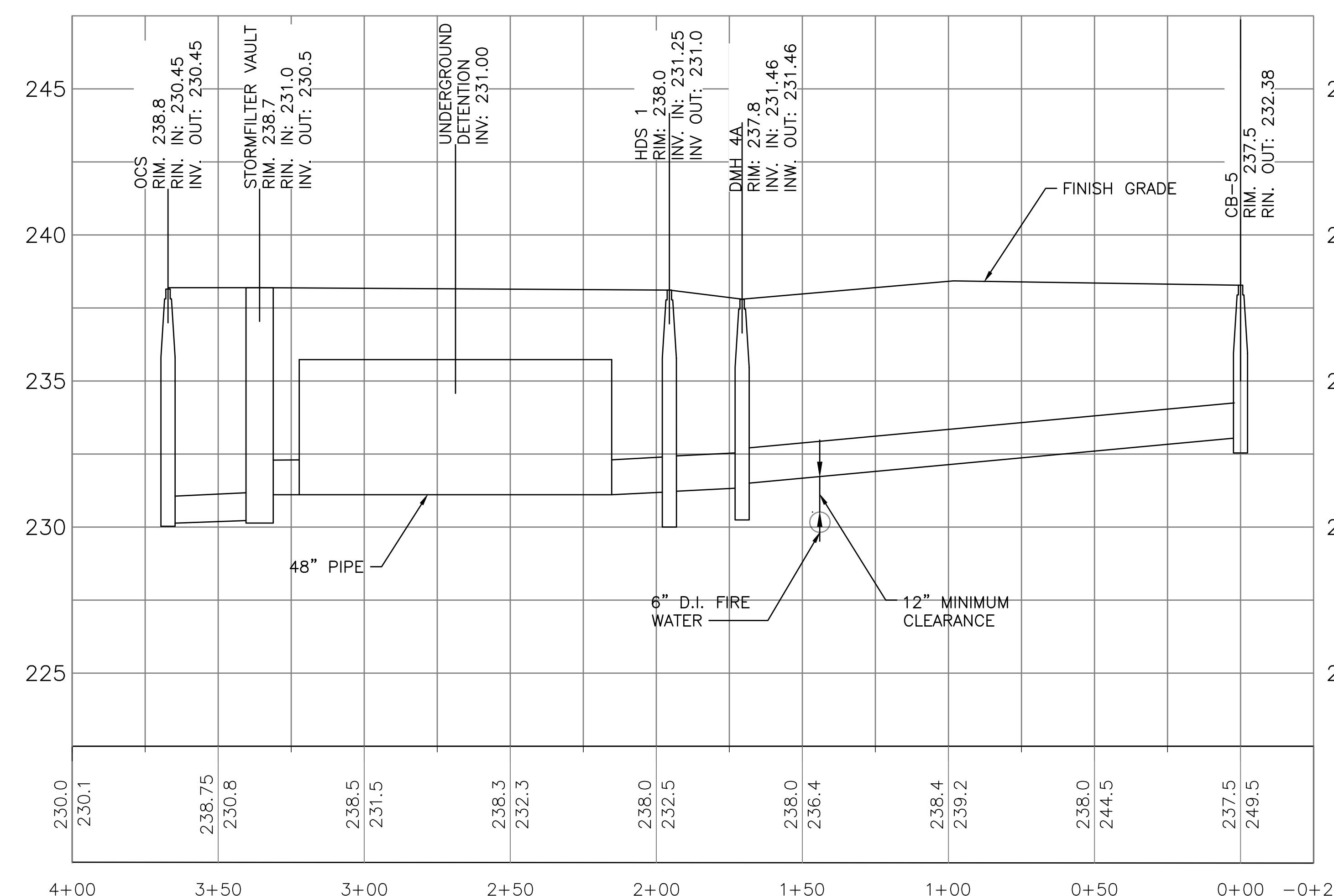
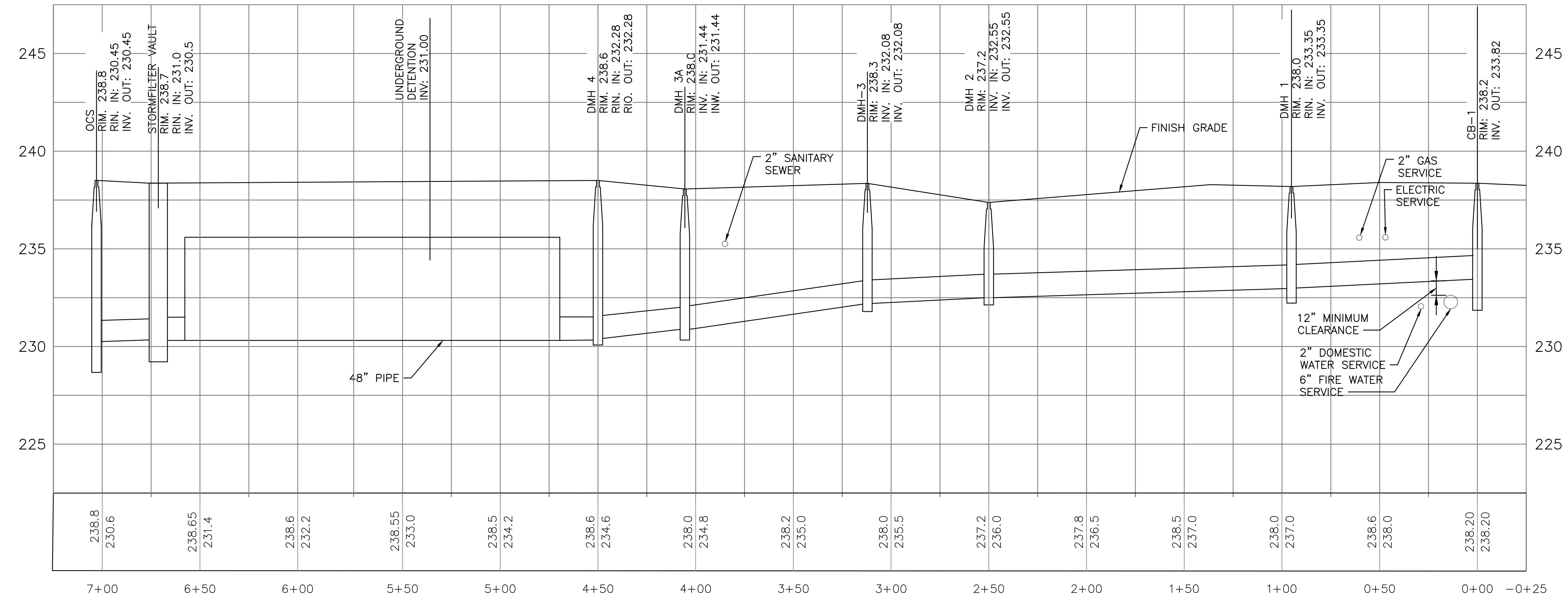
SCALE: 1" = 40'-0"



47A York St
Portland, ME
04101
207.553.7753

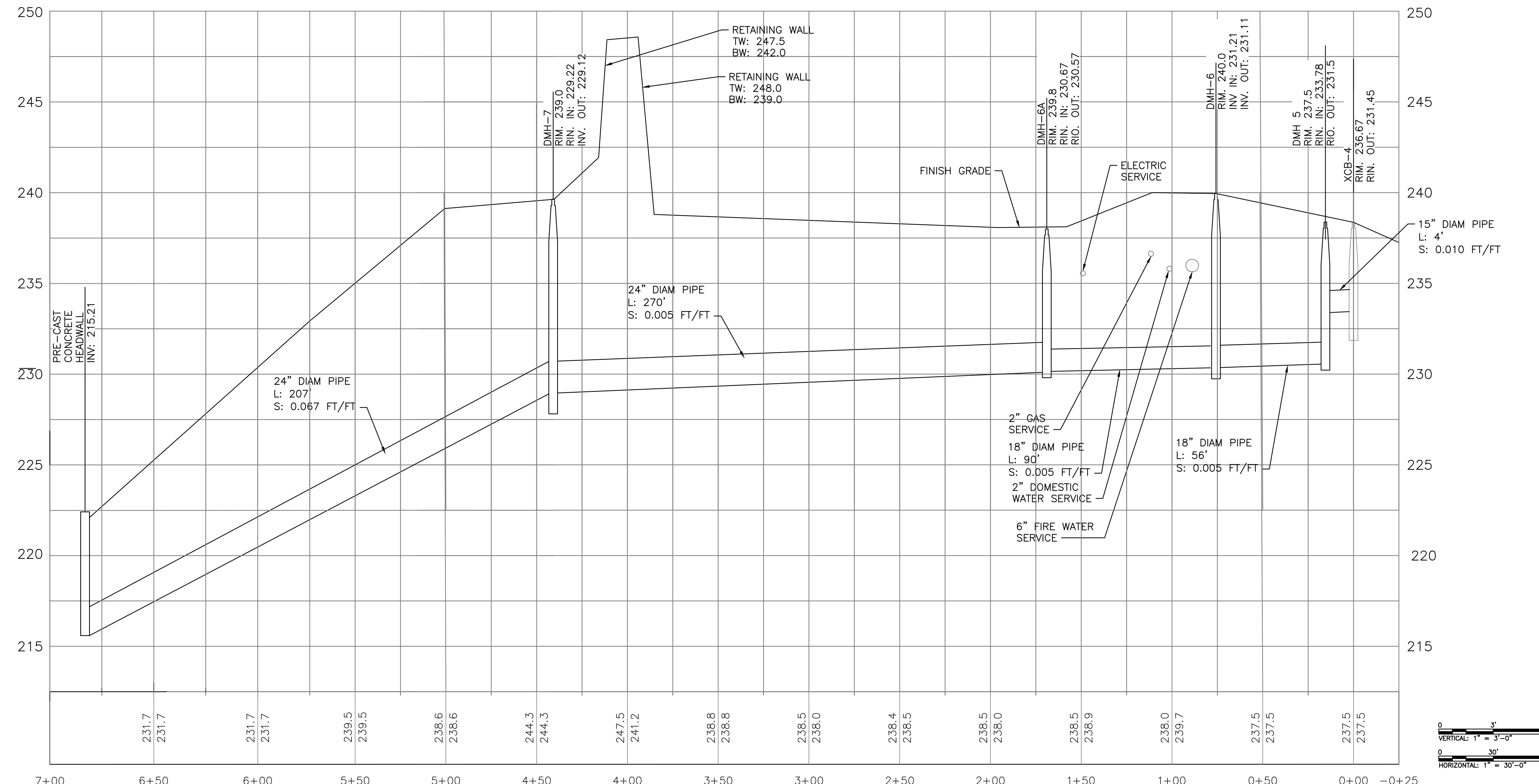
| MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC | | 100 QUARRY DRIVE, MILFORD, MA 01757 | | SALES & SERVICE FACILITY | | 207 PAGE STREET, STOUGHTON MA | | SANITARY SEWER PLAN & PROFILE | |
|--|-------------------------|-------------------------------------|-----|--------------------------|--|-------------------------------|--|-------------------------------|--|
| E | PB & CON COMM REVIEW | LDA | ALT | 2/11/2021 | | | | | |
| D | ADD DRAINAGE AREA | LDA | ALT | 1/21/2021 | | | | | |
| C | PLANNING BOARD REVIEW | DAM | ALT | 1/7/2021 | | | | | |
| B | CONSERVATION COMMISSION | DAM | ALT | 12/4/2020 | | | | | |
| A | PLANNING BOARD REVIEW | DAM | ALT | 10/5/2020 | | | | | |
| REV | DESCRIPTION | DWN | APP | DATE | | | | | |
| | | | | | | | | | |
| SIZE: | ANSI D | | | | | | | | |
| DATE: | 1/7/2021 | | | | | | | | |
| DES BY: | LDA | | | | | | | | |
| DWN BY: | DAM | | | | | | | | |
| CKD BY: | ALT | | | | | | | | |

C-131



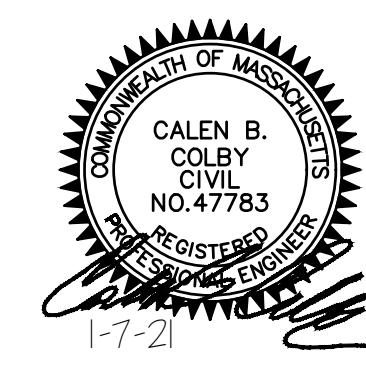
| | | | | | | MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757 | | |
|--|-------------------------|-----|-----|-----------|---|---|--|---------------------|
| REV | DESCRIPTION | DWN | APP | DATE | | | | |
| E | PB & CON COMM REVIEW | LDA | ALT | 2/11/2021 | SALES & SERVICE FACILITY 207 PAGE STREET, STOUGHTON MA | | | |
| D | ADD DRAINAGE AREA | LDA | ALT | 1/21/2021 | | | | |
| C | PLANNING BOARD REVIEW | DAM | ALT | 1/7/2021 | | | | |
| B | CONSERVATION COMMISSION | DAM | ALT | 12/4/2020 | | | | |
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| REV | DESCRIPTION | DWN | APP | DATE | DRAINAGE PROFILES | | | |
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| DATE: <u>1/7/2021</u> DES BY: <u>LDA</u> DWN BY: <u>DAM</u> CKD BY: <u>ALT</u> | | | | | SHEET <u>17</u> OF <u>43</u> | C-301 | | |

C-301



OFF-SITE DRAINAGE PROFILE

SCALE: AS SHOWN



47A York St
Portland, ME
04101
207.553.7753

| MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC | | | |
|---|-------------------------|-------------|---------------------------|
| 100 QUARRY DRIVE, MILFORD, MA 01757 | | | SALES & SERVICE FACILITY |
| 207 PAGE STREET, STOUGHTON MA | | | OFF-SITE DRAINAGE PROFILE |
| OFF-SITE DRAINAGE PROFILE | | | |
| E | PB & CON COMM REVIEW | LDA | ALT 2/11/2021 |
| D | ADD DRAINAGE AREA | LDA | ALT 1/21/2021 |
| C | PLANNING BOARD REVIEW | DAM | ALT 1/7/2021 |
| B | CONSERVATION COMMISSION | DAM | ALT 12/4/2020 |
| A | PLANNING BOARD REVIEW | DAM | ALT 10/5/2020 |
| REV | DESCRIPTION | DWN | APP DATE |
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| SIZE: | ANSI D | PROJECT NO. | 109.077.001 |
| DATE: | 1/7/2021 | SHEET | 18 OF 43 |
| DES BY: | LDA | DRAWING NO. | C-302 |
| DWN BY: | DAM | | |
| CKD BY: | ALT | | |

PROJECT DESCRIPTION

Milton Real Properties of Massachusetts, LLC proposes to develop Map 94 Lot 43 in the town of Stoughton with a street address of 207 Page Street. The site will be graded and paved, with a 27,000 sf (footprint) Sales and Service Facility.

The proposed project will create an approximately 4 acre plateau on this 6.5 acre site.

A drainage system consisting of catch basins and drain manholes will be installed in the paved area. Collected stormwater runoff will be directed to hydrodynamic separators and then into an underground detention structure. This detention structure will control and reduce peak flows so that the pre-development peak rate of flow to abutting properties will not increase.

The work will take place in a single phase and is expected to be executed from spring through fall of 2020. Total site alteration will be approximately 4.5 acres.

Construction Process

Before construction begins, sediment control barriers consisting of silt fencing attached to posts and backed by staked hay bales will be placed at the limit of work in the locations shown on the Grading Plans. Additional erosion control barriers will be installed when appropriate to protect abutting properties and control runoff.

The first step of the construction process will be the cutting of trees. After this has been accomplished within the limit of work, clearing and grubbing will take place and loam will be stockpiled in a location protected against erosion. The contractor should immediately create temporary settling basins to be able to accept 1 inch of flow from the exposed soil areas just created.

The time of construction requiring the most attention and care occurs between the stripping of natural overburden and the stabilization of construction areas. Cut and fill areas create additional risk by increasing the possibility of stormwater runoff causing erosion.

The contractor will, as much as possible, leave natural cover untouched. The contractor will limit to the shortest time possible the time that areas are exposed. The landscaping will be completed as early as weather and building construction allow. During the times between clearing and landscaping, soils will be stabilized with a combination of hay/staw mulch, temporary grass seeding and other measures as necessary to prevent any significant erosion of soils.

In conjunction with the site grading process, a number of sedimentation control procedures will be followed. The object of the procedures is to prevent the erosion of soils and the transport of sediments to the resource area and off the site.

Stabilization

Temporary and permanent stabilization of disturbed surfaces is the most reliable method of preventing the erosion and transport of site soils. Toward that end, the areas that are disturbed will be provided temporary stabilization within two weeks after the last disturbance when:

- Work is not complete in that area,
- Work will remain incomplete for a period of three weeks or more, and
- The planting season has not been reached in areas which will be re-vegetated.

Permanent stabilization will take place when:

- Work is complete in that area and
- The planting season has been reached and areas can be revegetated.

Best Management Practices Employed

To guard against the transport of soils offsite several Best Management Practices (BMP's) will be employed. Erosion control swales, sediment control barriers, sediment sumps, hay/staw check dikes, swales, temporary settling basins, vegetative filter strips, site entrance mats, riprap outlet protection, flocculants in both crystal and block forms, organic media for capture of silt below flocculants, street sweeping and erosion control mats will be used on this site as appropriate. Some of these items, such as sediment sumps, are temporary. Other features, such as riprap outlet protection are permanent.

Soils

According to the NRCS web site, the soils over most of the site are Udorthents (Fill) soils often found in fill sites. Some areas at the west and east sides of the site are expected to be Hollis Rock Outcrop - Charlton Complex series soils categorized as belonging to hydrologic soil group "D".

Resource Areas

The nearest resource area is located on the western side of the site, near Page Street. This was confirmed by Wetland Consulting, Inc.

The following sections of the Pollution Prevention Plan detail the construction schedule, the methods of protection against erosion to be used and proposed stabilization techniques.

SITE PLAN DEVELOPMENT

As part of the Site Plans submitted to the Stoughton Planning Board, Colby Company Engineering, LLC has prepared Grading Plans with permanent and temporary erosion control measures shown.

PHASING

Construction of the project will take place in one phase. Total site alteration will be approximately 4.5 acres.

POLLUTION PREVENTION SITE PLAN

The Site Plans prepared by Colby Company Engineering LLC contain Grading Plans which are included herein. After preparing the Grading Plans showing the proposed site improvements, the plans were reviewed with a goal of preventing pollution from entering abutting properties. Various Best Management Practices (BMP's) are described herein and/or shown on the Grading Plans and Detail Sheets and will be used to prevent or to mitigate erosion and pollution. The pollution prevention methods and procedures are described in greater detail in following portions of the Pollution Prevention Plan.

INSPECTION AND MAINTENANCE OF EROSION CONTROLS

1. At all times, siltation fabric fencing, silt sock, stakes and hay bales sufficient to construct a sediment control barrier a minimum 25 feet long will be stockpiled on the site in order to repair established barriers which may have been damaged or breached.
2. The Developer will designate as Inspector a person or entity other than the contractor. The Inspector must be accessible seven days a week and be responsible for inspecting and coordinating the maintenance and repair of all erosion control systems on the site.
3. An inspection of all erosion control measures shall be conducted by the Inspector at least once each week until the completion of construction of the project. The Contractor shall inspect all erosion control systems daily and shall notify the Inspector of any breaches or failures. In case of any noted breach or failure, the Contractor shall immediately make appropriate repairs.
4. The Inspector shall inspect all erosion control systems on the site before, during and after any storm event reaching one of the following thresholds:
 - a. Any storm in which rain is predicted to last for 12 consecutive hours or more.
 - b. Any storm for which a flash flood watch or warning is issued.
 - c. Any single storm predicted to have a cumulative rainfall greater than 1/2 inch.
 - d. Any storm event not meeting the previous three thresholds but marks the third consecutive day of measurable rainfall.

5. The Inspector shall inspect erosion control measures at times of significant increase in surface water runoff due to rapid thawing when the risk of failure of those measures is significant.

6. In such instances as remedial action is necessary, the Inspector shall cause to be repaired within seven days, any and all significant deficiencies in erosion control measures.

7. In addition to these inspections, the design engineer shall inspect the site at least every two weeks and present a brief report of site conditions to the Conservation Commission.

8. The Stoughton Engineering Department shall be notified of any significant failure of erosion control measures and shall be notified of any release of pollutants to a resource area.

EROSION CONTROL DEVICES OR PROCESSES

1. Site Entrance Mat
A site entrance mat will be established at the entrance off Page Street. It will consist of a 75 foot long, 6 inch thick layer of 1" - 3" crushed stone. The site entrance mat will be installed over 6 inch thick layer of 3" - 6" crushed stone. The crushed stone will be refreshed as necessary.

2. Sediment Control Barrier

The sediment control barrier will consist of an approved silt sock or siltation fabric fencing installed on posts according to the manufacturer's instructions and backed by staked straw bales where appropriate. The filter fabric and straw bales will be placed in a manner that prevents the passage of soil materials under, around or over the fencing. Sediment will be removed from against the barrier when the accumulated sediment has reached one third of the original installed height of the barrier.

3. Hay/Straw Bale Diversion Dike

Hay bales will be placed in other locations on the site in order to further prevent the flow of sediment from the site or reduce the velocity of runoff crossing open land or running off stockpile or fill areas. Hay/straw bale diversion dikes will also be placed within developing rills to reduce surface runoff velocities and to shift the path of the water flow. The locations where hay/straw bale diversion dikes are installed will be determined in the field at the Inspector's discretion.

4. Slope Stabilization

Slopes or surfaces that are created due to excavation or filling along the edge of the parking or loading areas will be stabilized with one or more of the following:

- Hay or straw mulch with tackifier
- Soft wood and hard wood chips.

- In areas that will be steeper than 2:1 after construction, the slope will be stabilized by the placement of heavy riprap or by the installation of erosion control matting specifically rated by the manufacturer for use on a 1:1 slope. The riprap slope to be placed will be formed by placing heavy stone on a one foot thick layer of gravel. Where water flow from runoff or groundwater breakout is a significant concern, an approved filter fabric will be placed over the gravel layer.

Permanent stabilization of slopes and surfaces will employ one or more of the following:

- Loam and grass
- Sod
- Riprap
- Turf reinforcement matting and vegetation
- A combination of grasses, riprap and/or plants and shrubbery

5. Diversion Swale

Runoff diversion swales may be provided in order to intercept sheet and concentrated flows above areas of cut, above abutting properties and above resource areas. The swales will direct runoff to sediment sumps or temporary settling basins. The swales will be approximately 5 feet wide and one foot deep. Hay/straw bale diversion dikes may be installed on the downhill side of the swales to assist in containing the water flow.

6. Sediment Sumps

Sediment sumps are excavated depressions of 10 foot diameter and 2 foot depth. The sumps will collect runoff from unfinished drives and slopes and will allow sediment to settle out before flow continues to a detention area or siltation control barrier. Sediment sumps will be cleaned whenever the accumulated sediment has reached one half of the original depth of the sump.

7. Temporary Settling Basin

A temporary settling basin is a large, excavated sediment sump that has a stone face overflow leading to a swale or to a drainage inlet structure. The size varies with the area draining to it but should be 50% larger than the DEP requirement and able to store 1.5 inches of runoff over the area contributing flow to it. Temporary settling basins will be cleaned whenever the accumulated sediment has reached one half of their original depth. All TSB's shall use flocculants with organic media matting to remove sediments from runoff exiting, and, if possible, entering the TSB.

8. Riprap Outlet Protection

Riprap outlet protection is a stone apron beginning at a drainage system discharge point and extending down a slope at a sufficiently moderate grade to remove erosive force from discharged runoff.

9. Flocculants

At both entrance and exit points where runoff flows or is discharged into temporary settling basins, flocculant blocks shall be installed. Immediately downstream of the flocculant blocks, a suitable organic media such as jute mesh matting shall be installed over stone for runoff that has contacted the flocculant blocks to flow. This will allow capture of silts.

In addition, crystal flocculants may be used to reduce turbidity of captured runoff in basins. And, if TSB's or detention basins are temporarily serving as retention basins, a stone lined jute mesh covered swale shall be created for collected runoff to flow over after that runoff has also passed over an additional set of flocculant blocks.

10. Street Sweeping

Page Street shall be swept as necessary once earth work operations have begun.

11. Erosion control mats

In order to ensure the stability of slopes on lot 4 between a 1:1 and 3:1 grade, the contractor shall apply Tensar North American Green SC150BN erosion control matting or approved equal.

SEQUENCE OF INSTALLATION AND CONSTRUCTION

The following is a sequence for the construction of the project. The actual schedule may vary somewhat from that stated if site or weather condition require.

An example of a logical change to the schedule would be deviating from the sequence below to allow the laying of berms prior to a winter freeze in order to better control the site drainage.

1. The Developer will hold a preconstruction meeting with representatives of the Town of Stoughton in order to review permits, procedures and construction methods.

2. The Developer will hold a preconstruction meeting with the Engineer, Contractor's employees and the Inspector in order to review permits, procedures and construction methods.

3. Establish the Site Entrance mats at the entrance to Page Street.

4. Install the sediment control barriers below work areas in the locations as shown on the Erosion Control Plan.

5. Cut and chip trees with the proposed limit of work then begin clearing and grubbing.

6. Stockpile and compact excavated loam in an area surrounded by staked straw bales or siltation fencing. Place the straw bales or fencing at least five feet from the base of the loam pile.

7. Begin earthwork operations for the proposed grading on the site.

8. Continue earthwork operations on the site. Install sediment sumps and temporary settling basins as necessary as earthwork operations progress. Install other erosion control measures such as hay/straw bale diversion dikes before and as the earthwork operation progresses.

9. Bring the site to subgrade and place gravel having the composition depth indicated on the grading plan.

10. Begin construction of the building and extend utilities from Page Street.

11. Install the drainage system including the detention basin, the Jellyfish Filter and its discharge.

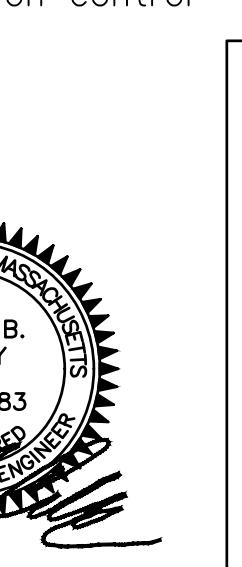
12. Continue building construction and lay the binder course of pavement on the site.

13. Permanently stabilize exposed slopes and install additional erosion control devices as required.

14. Install the light poles and dumpster pad.

14. Lay the finish course of pavement.

15. Remove accumulated sediment and temporary erosion control measures after all slopes have been permanently stabilized. The risk of erosion has passed.



| REV | DESCRIPTION | DWN | APP | DATE |
|-----|-------------------------|-----|-----|-----------|
| E | PB & CON COMM REVIEW | LDA | ALT | 2/11/2021 |
| D | ADD DRAINAGE AREA | LDA | ALT | 1/21/2021 |
| C | PLANNING BOARD REVIEW | DAM | ALT | 1/7/2021 |
| B | CONSERVATION COMMISSION | DAM | ALT | 12/4/2020 |
| A | PLANNING BOARD REVIEW | DAM | ALT | 10/5/2020 |

| SIZE: | ANSI D |
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| DATE: | 1/7/2021 |
| DES BY: | LDA |
| DWN BY: | DAM |
| CKD BY: | ALT |

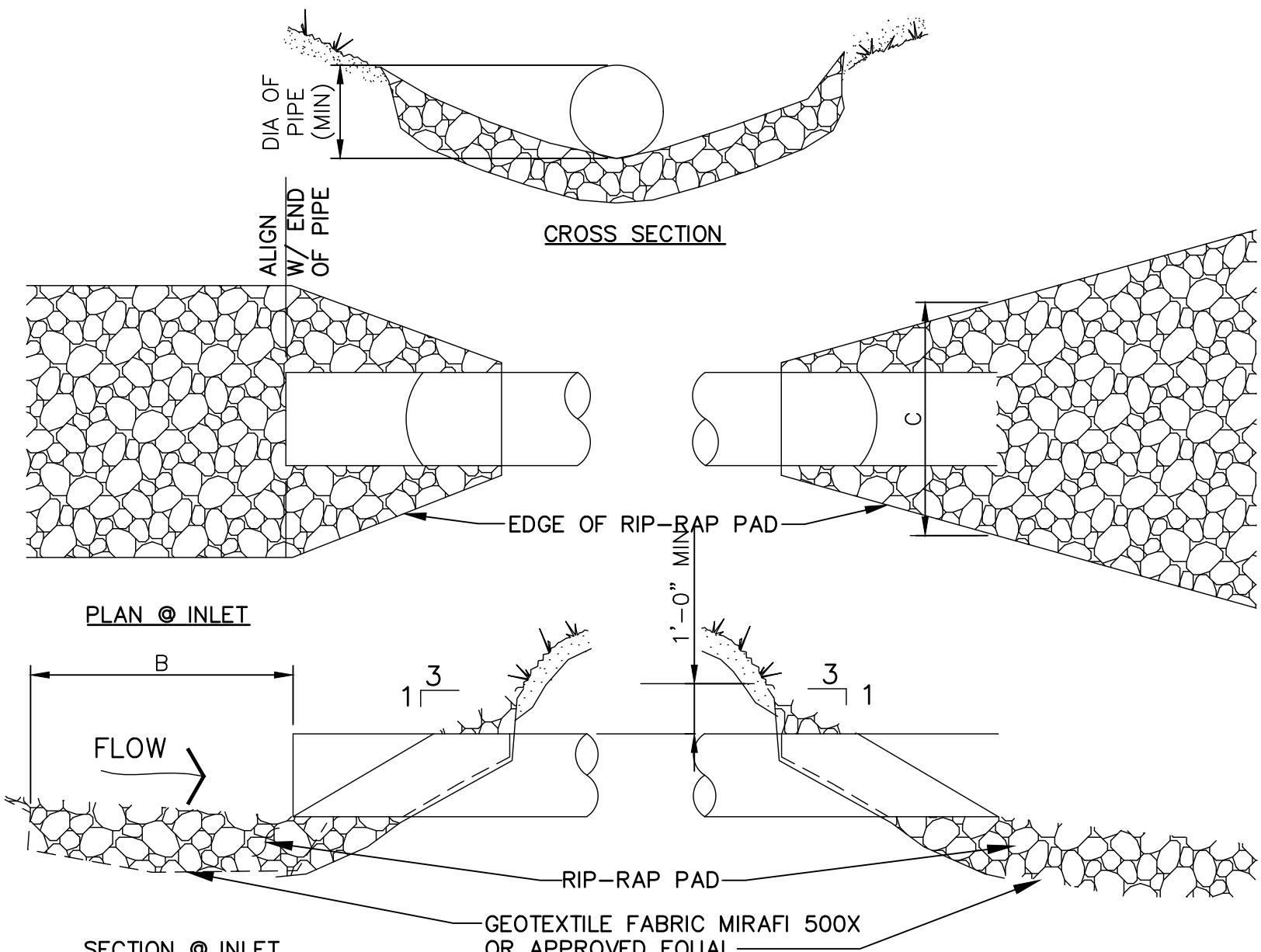
| PROJECT NO. | 109.077.001 |
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| DRAWING NO. | |
| SHEET | 19 OF 43 |

| EROSION CONTROL NOTES |
|-----------------------|
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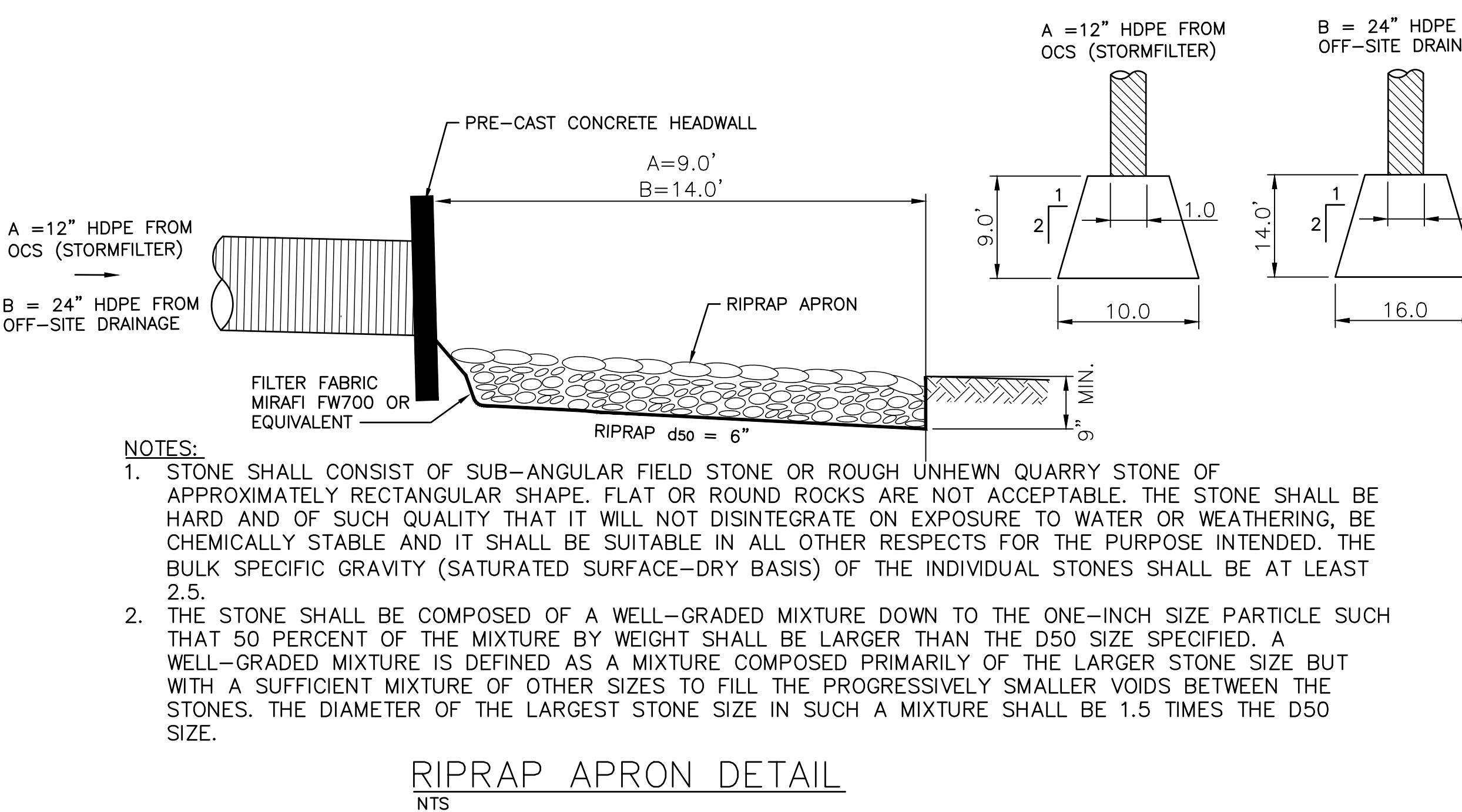
C-501

| PIPE | A (FT.) | B (FT.) | C (FT.) | D (FT.) | E (FT.) | PAD DEPTH | D ₅₀ |
|------|---------|---------|---------|---------|---------|-----------|-----------------|
| 15" | 12 | 8 | 3.75 | 12 | 8 | 9 | 4 |
| 12" | NA | NA | 3 | 8 | 6 | 9 | 4 |
| 6" | NA | NA | 1.5 | 7.5 | 6 | 9 | 4 |

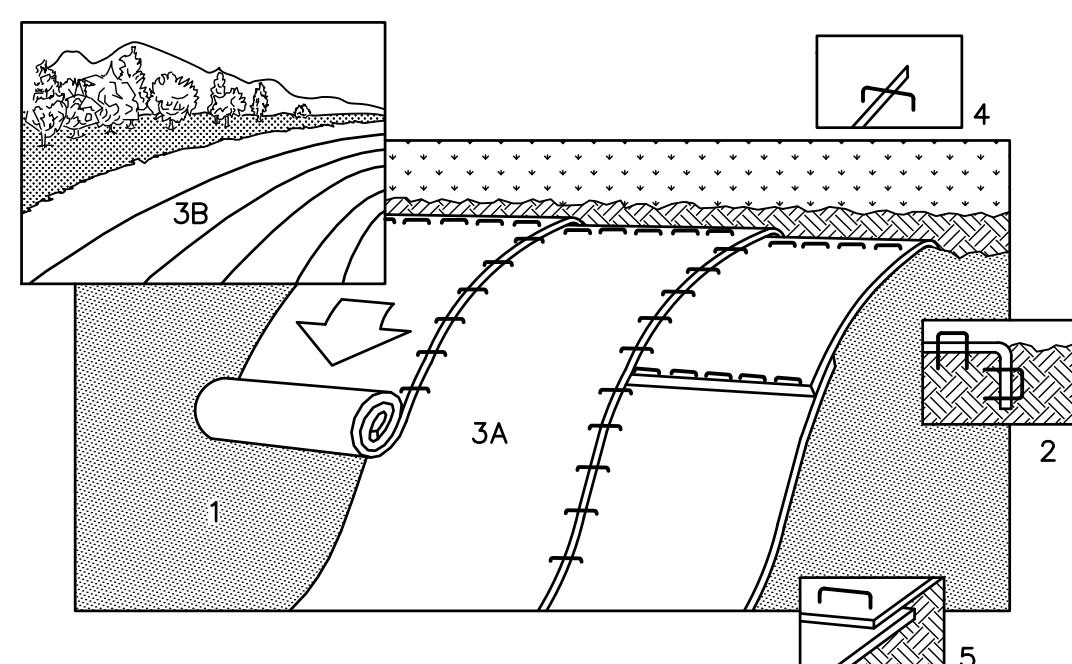
NOTE: RIP-RAP PAD MUST BE INSTALLED WITHIN 48 HOURS OF INSTALLING NEW PIPE OR CULVERT.



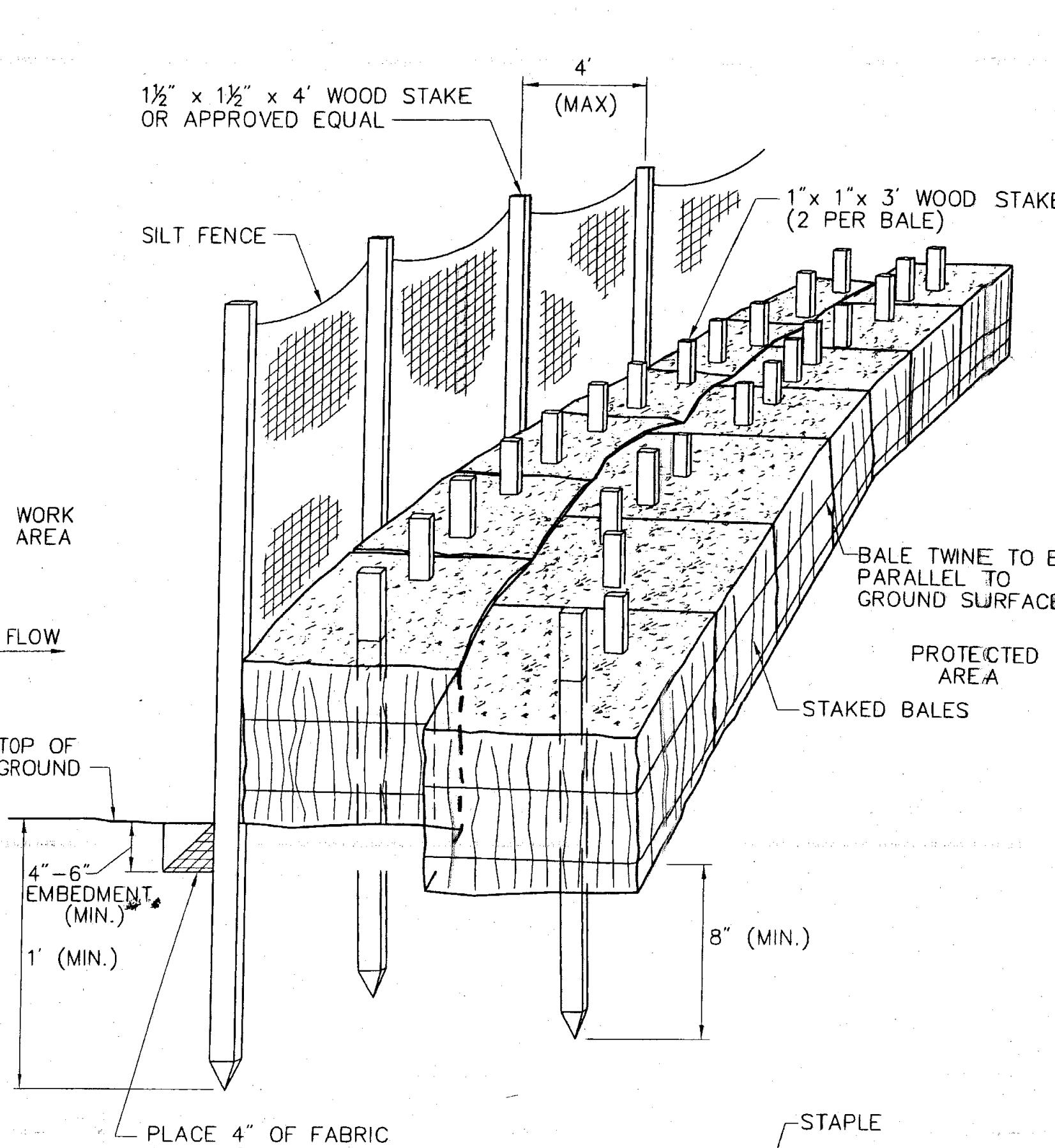
RIPRAP INLET/OUTLET DETAIL
NTS



RIPRAP APRON DETAIL
NTS



EROSION CONTROL JUTE MATTING DETAIL
NTS

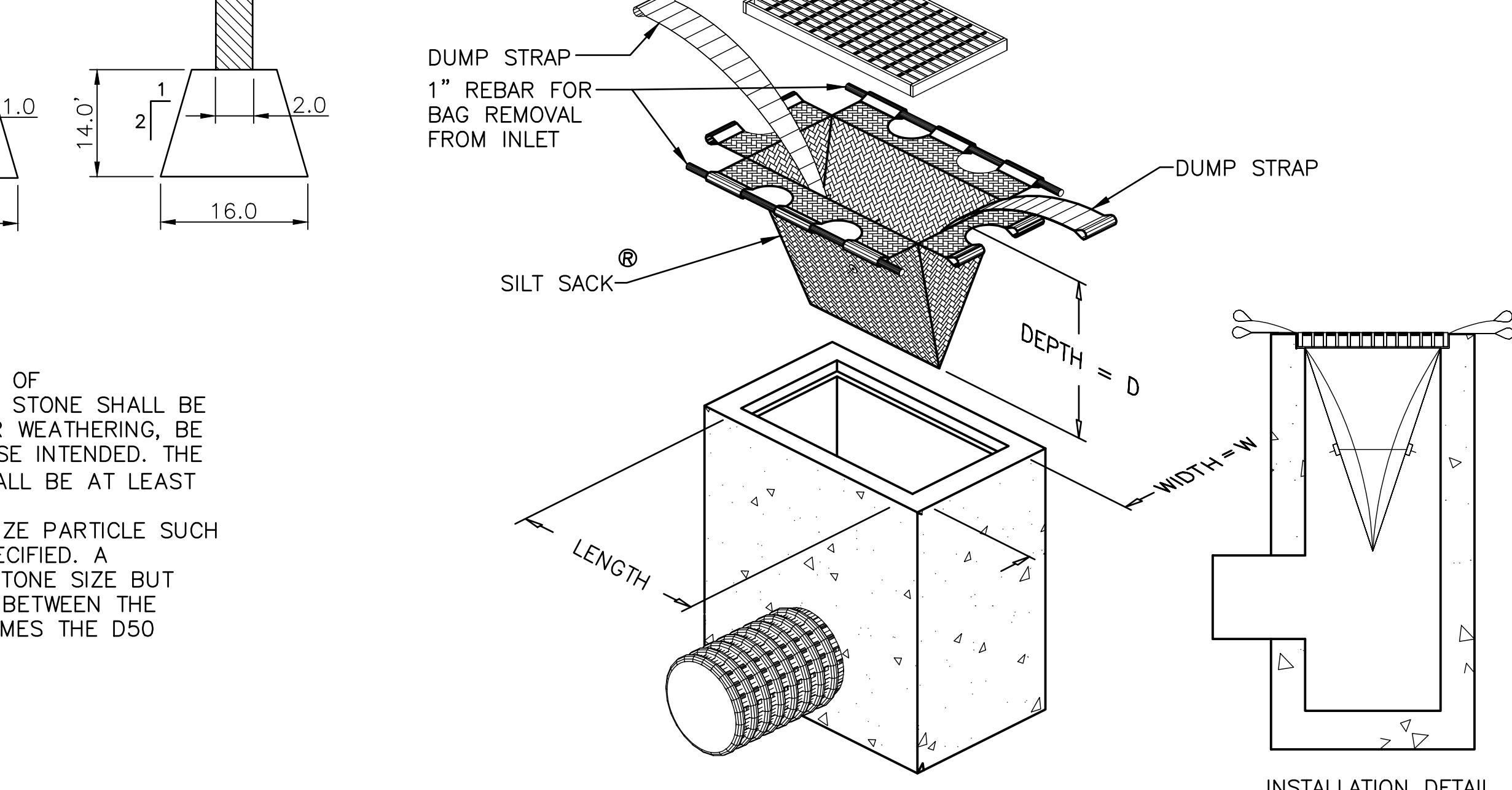


HAY BALE SEDIMENT FILTER
NTS

CONSTRUCTION SPECIFICATIONS:

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA TI40N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

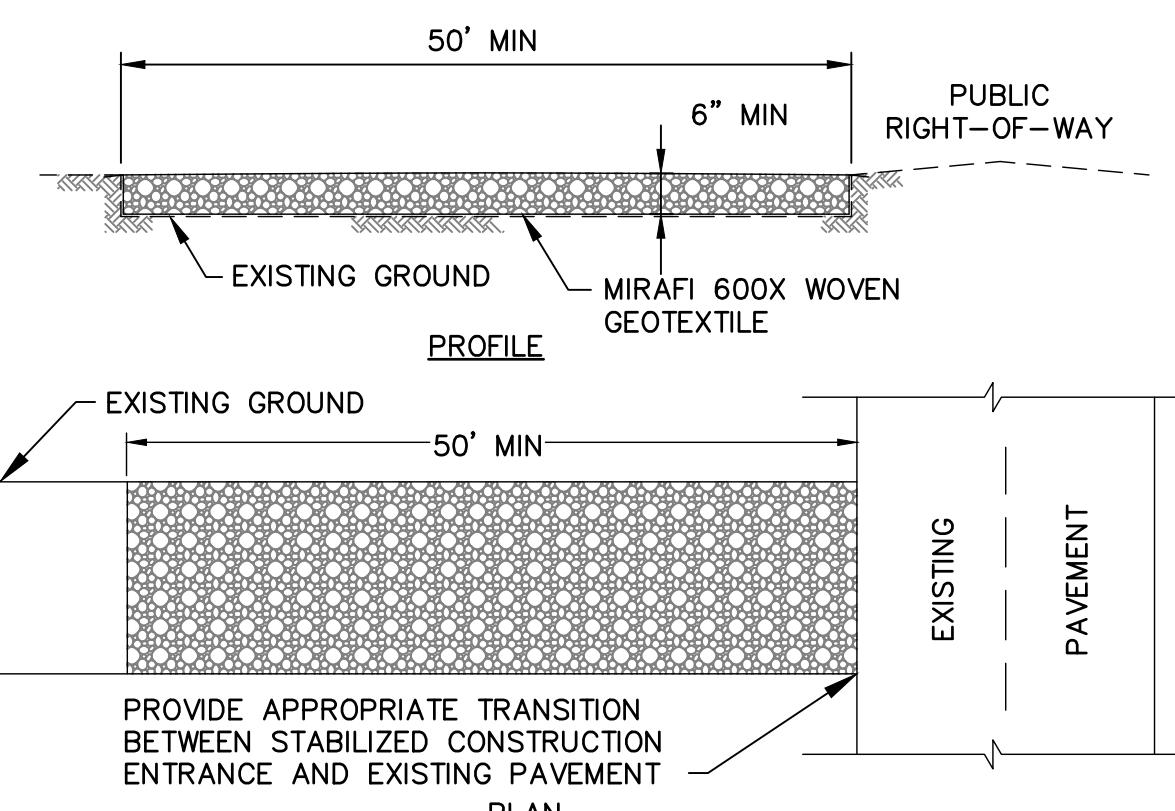
SILT FENCE INSTALLATION DETAIL
NTS



MAINTENANCE SCHEDULE:

1. EACH SILTSACK SHOULD BE INSPECTED AFTER EVERY MAJOR RAIN EVENT.
2. IF THERE HAVE BEEN NO MAJOR EVENTS, SILTSACKS SHALL BE INSPECTED EVERY 2-3 WEEKS.
3. THE YELLOW RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SILTSACK SHOULD BE EMPTIED.

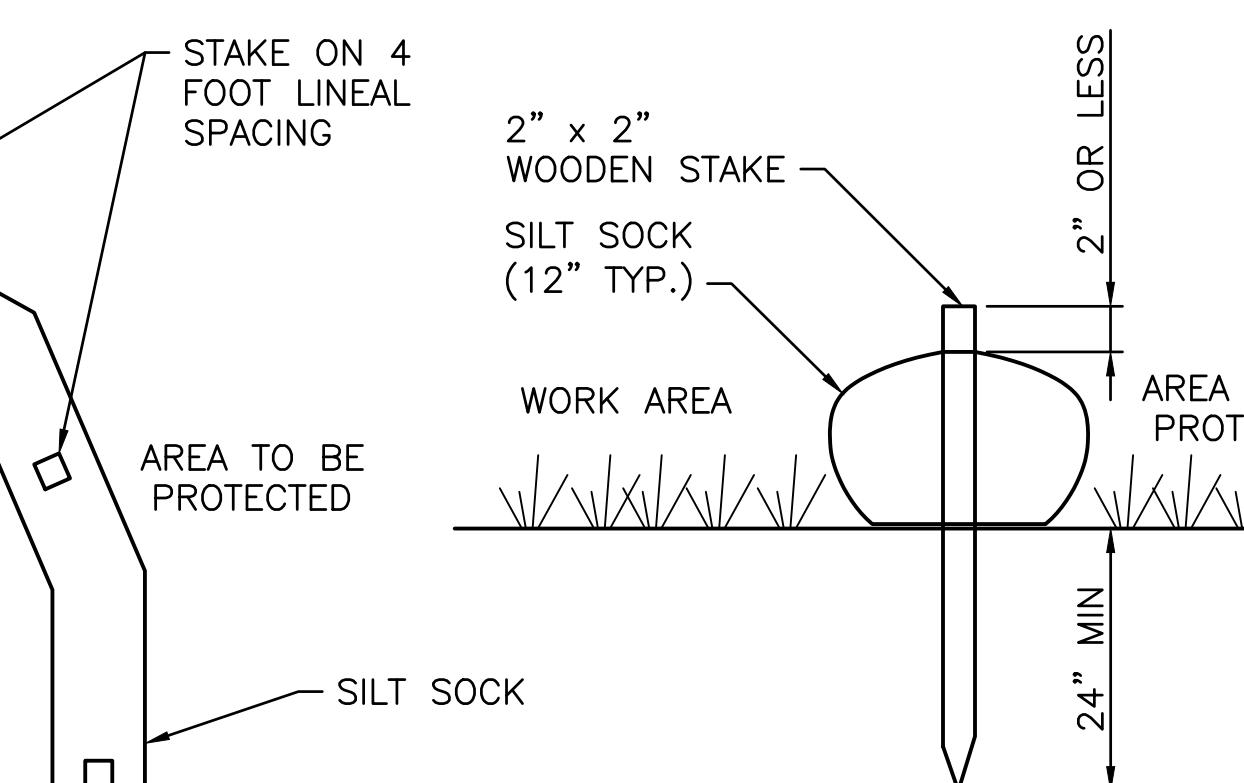
SILT SACK DETAIL
NOT TO SCALE



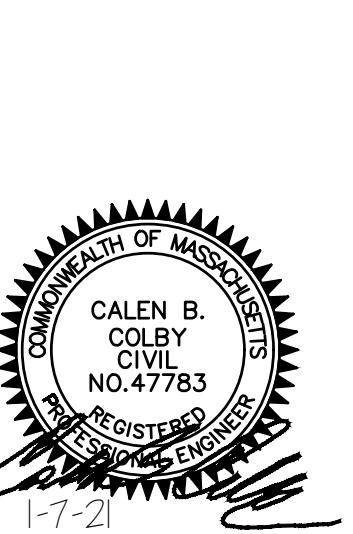
NOTES:

1. STONE SIZE - 2" TO 3" STONE OR RECLAIMED OR RECYCLED CONCRETE, OR EQUIVALENT.
2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - 10 FEET MINIMUM, OR NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC REPAIR AND TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. REFER TO CONSTRUCTION NOTE 3 ON DRAWING C-100.

STABILIZED CONSTRUCTION ENTRANCE/EXIT
NTS



SILT SOCK/STRAW WATTLES
NTS



| REV | DESCRIPTION | DWN | APP | DATE |
|-----|-------------------------|-----|-----|-----------|
| E | PB & CON COMM REVIEW | LDA | ALT | 2/11/2021 |
| D | ADD DRAINAGE AREA | LDA | ALT | 1/21/2021 |
| C | PLANNING BOARD REVIEW | DAM | ALT | 1/7/2021 |
| B | CONSERVATION COMMISSION | DAM | ALT | 1/24/2020 |
| A | PLANNING BOARD REVIEW | DAM | ALT | 10/5/2020 |
| REV | DESCRIPTION | DWN | APP | DATE |

| SIZE: | ANSI D | PROJECT NO. | 109.077.001 |
|---------|--------|-------------|-------------|
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| DWN BY: | DAM | SHEET | 20 OF 43 |
| CKD BY: | ALT | | |

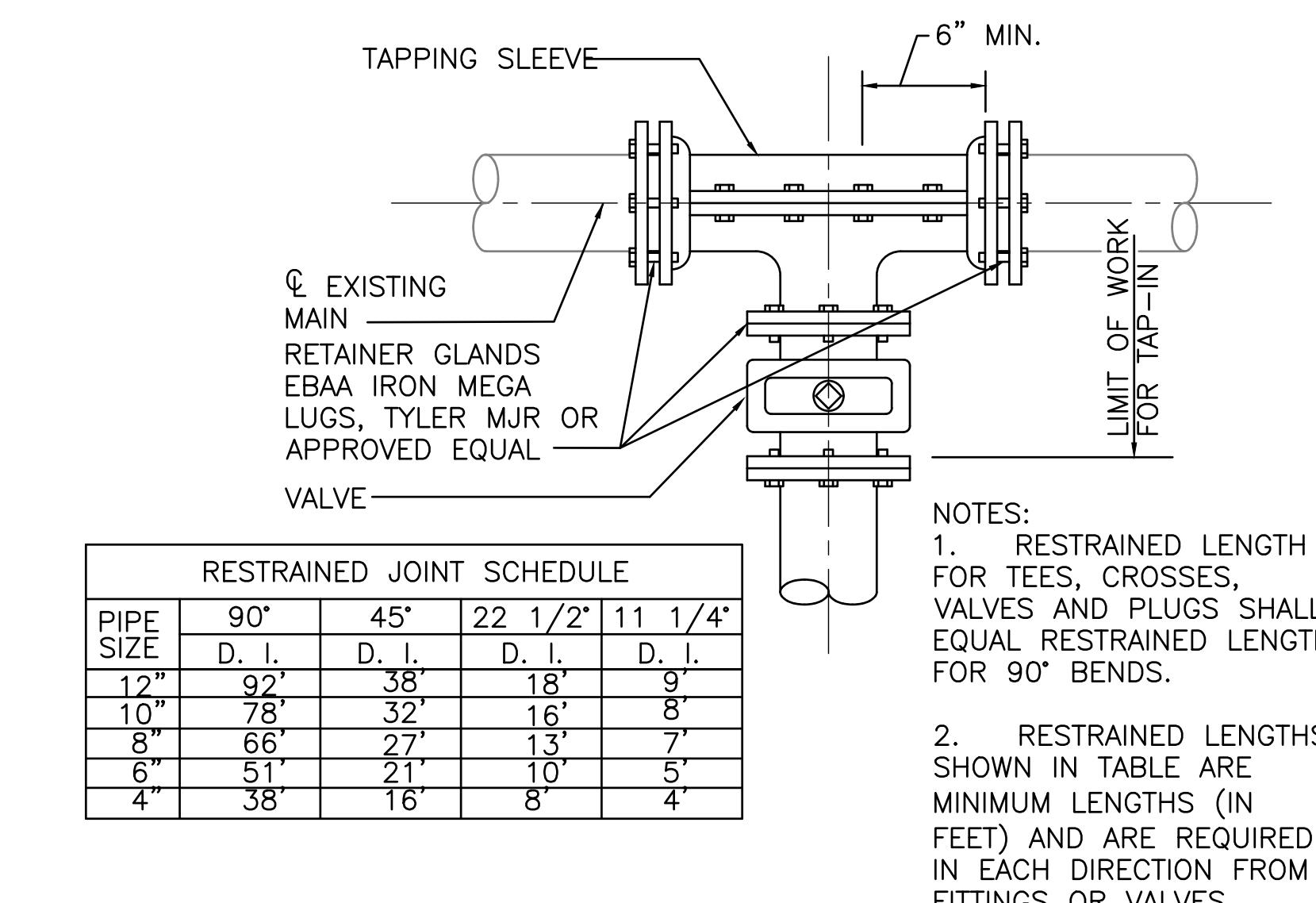
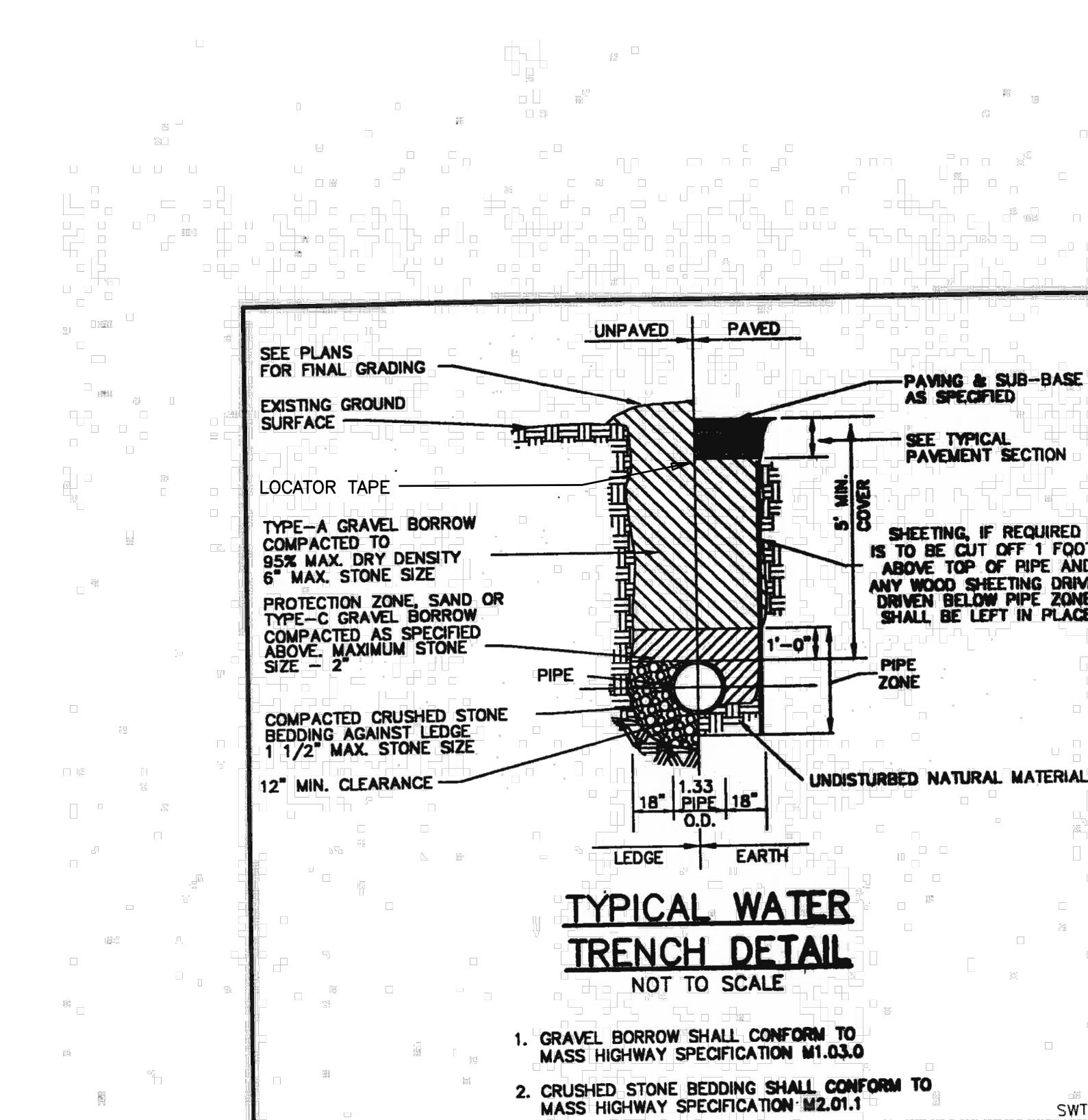
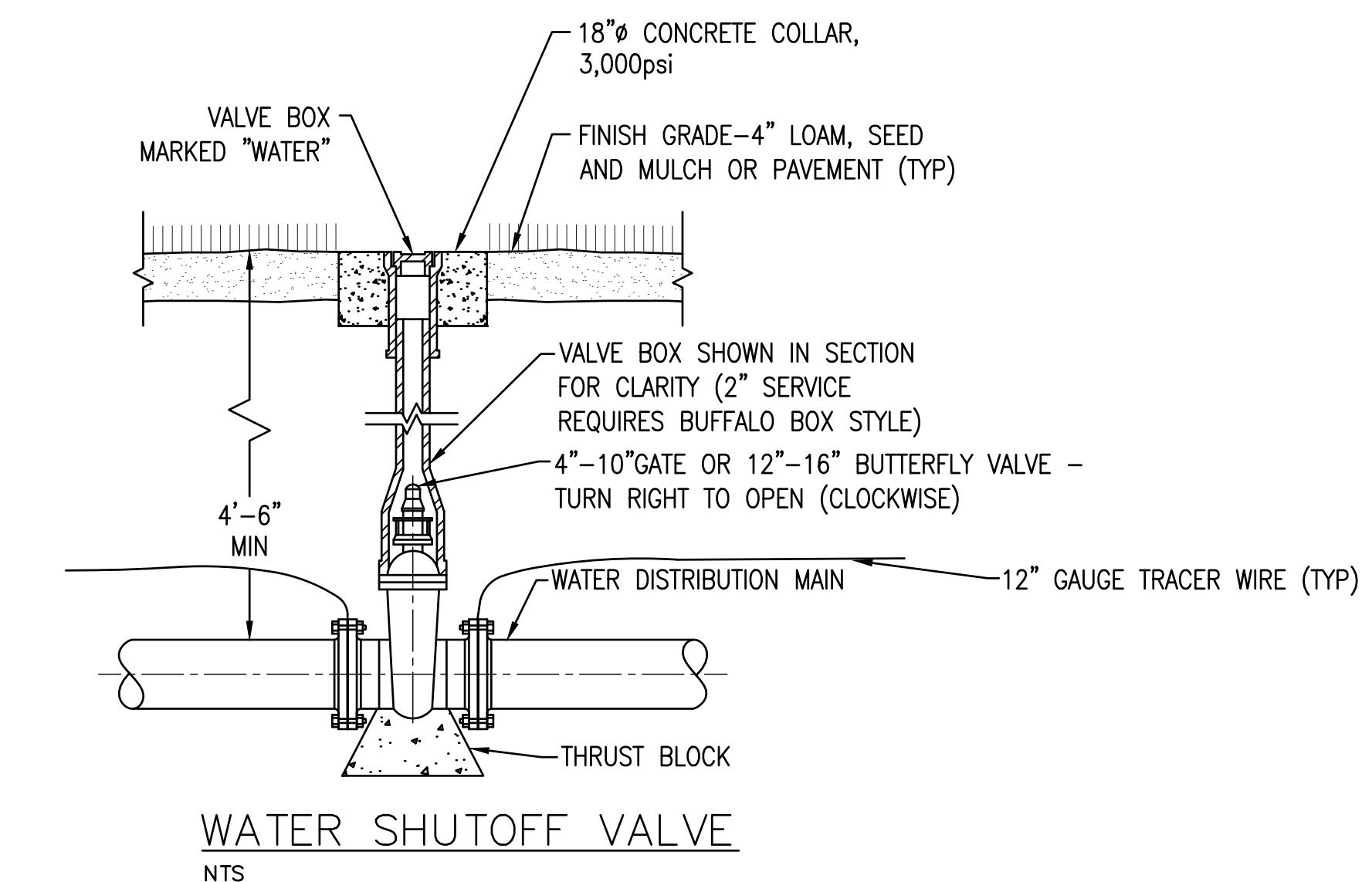
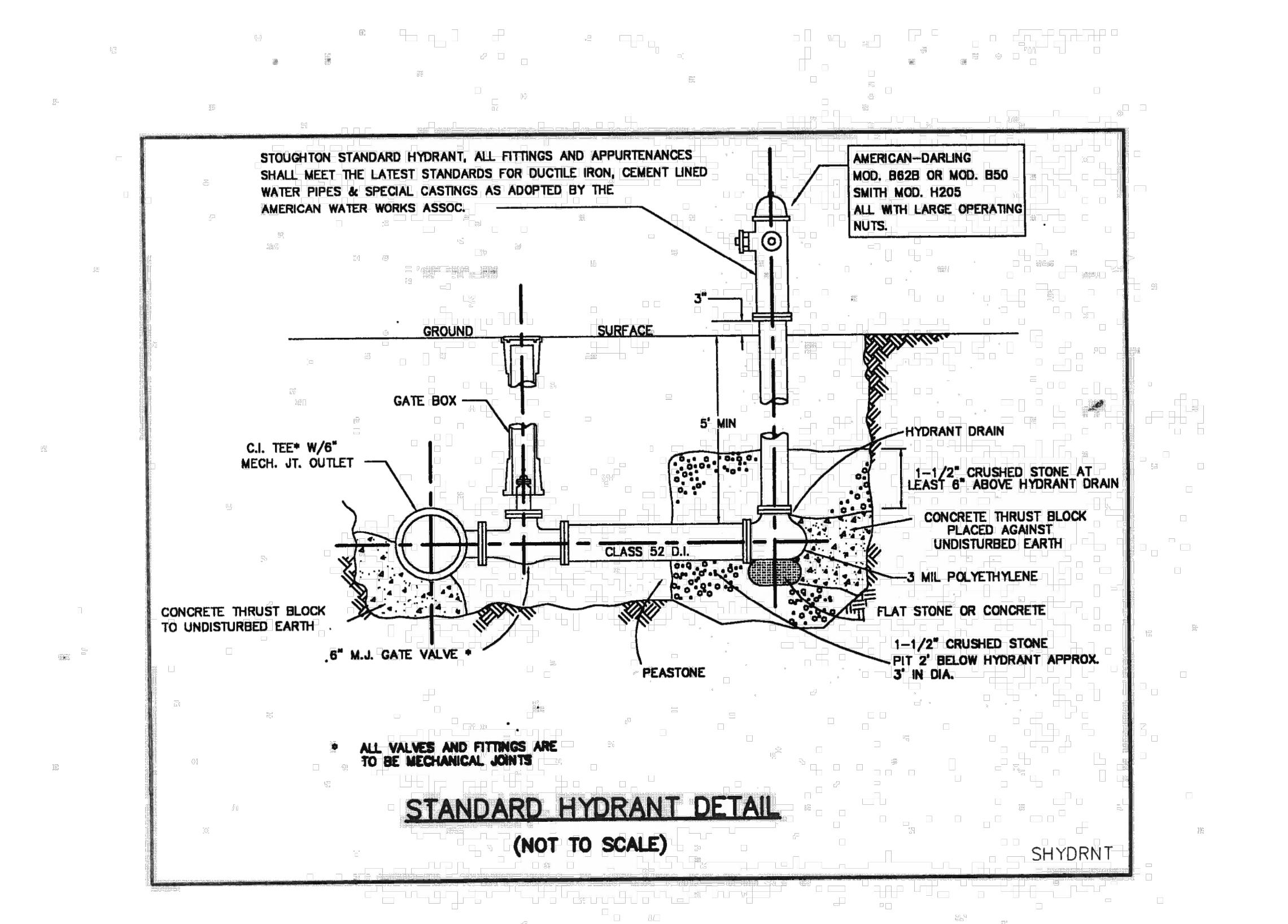
MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC
100 QUARRY DRIVE, MILFORD, MA 01757

SALES & SERVICE FACILITY
207 PAGE STREET, STOUGHTON MA

EROSION CONTROL DETAILS

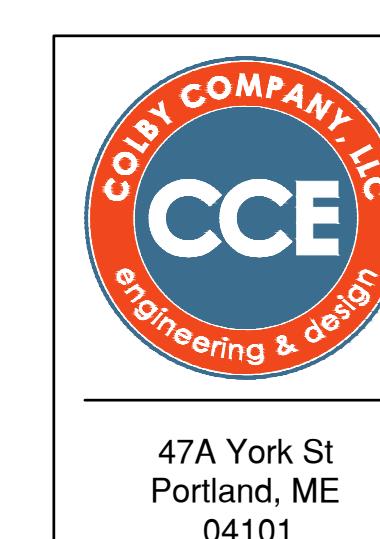
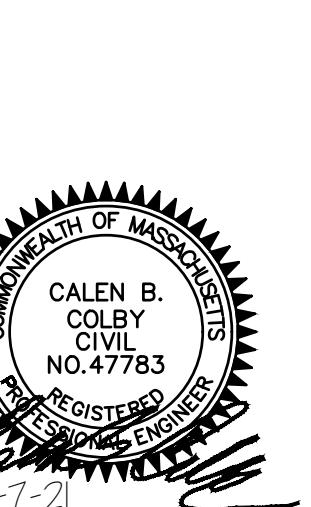
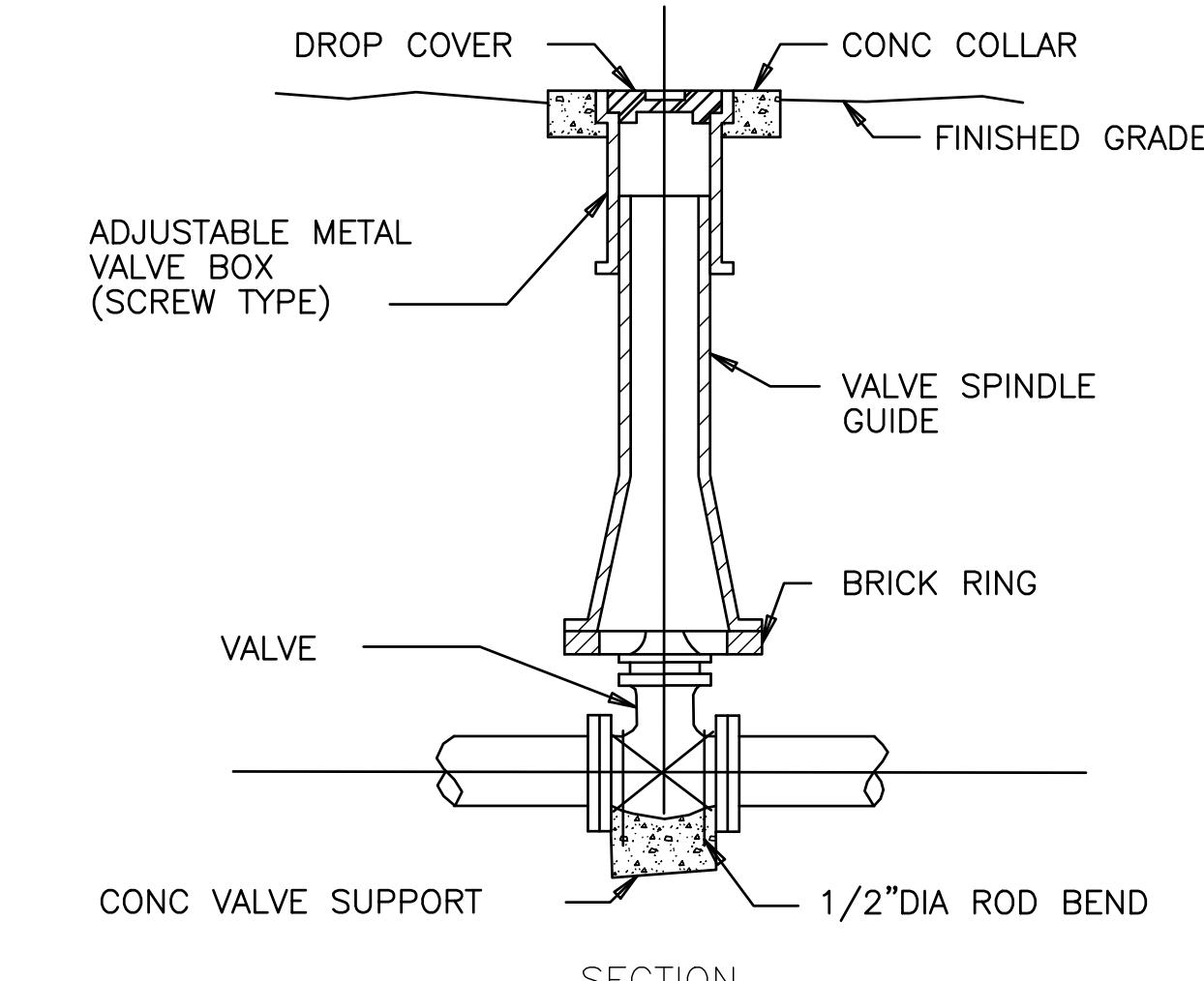
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TAPPING SLEEVE DETAIL

NTS



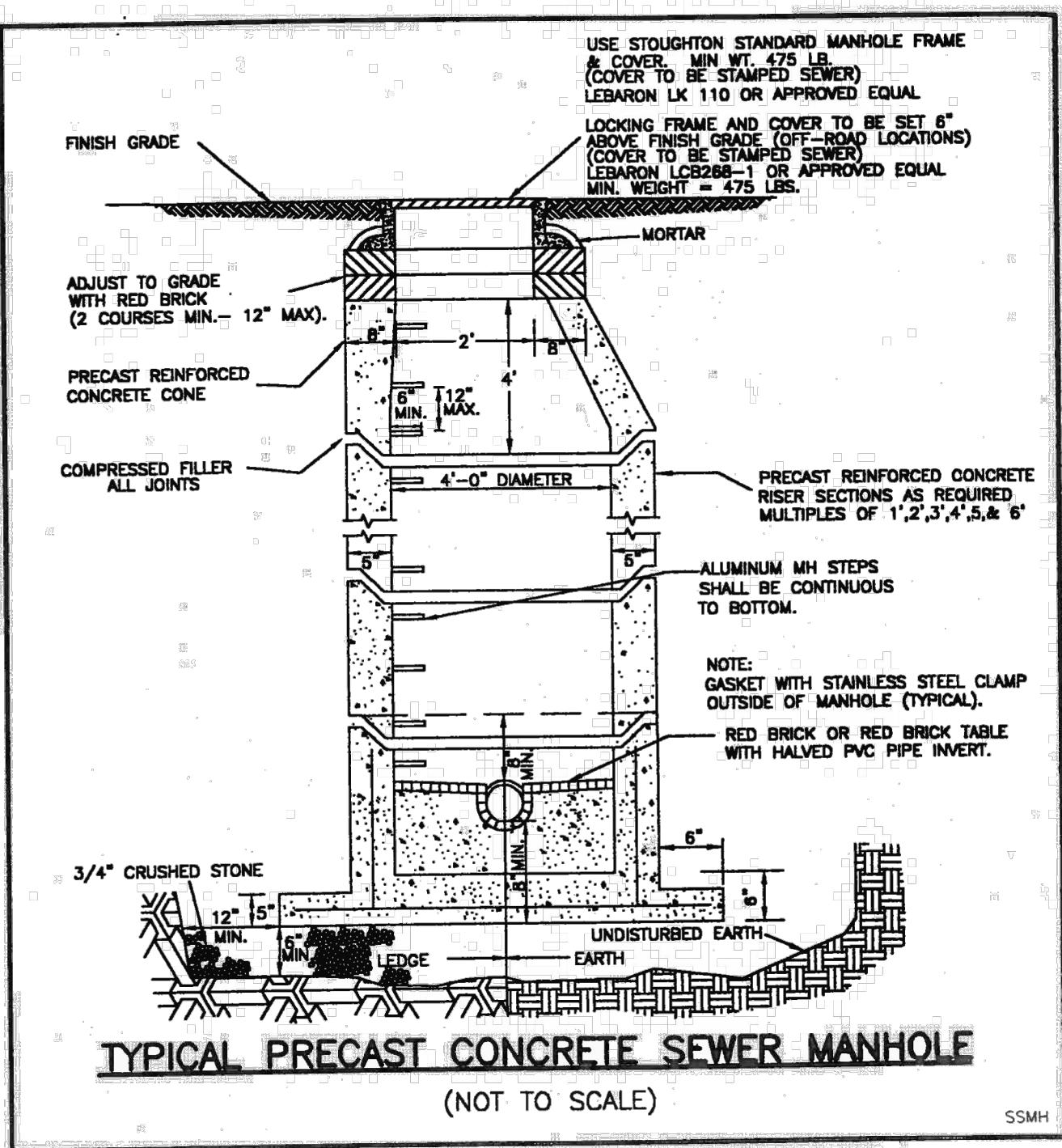
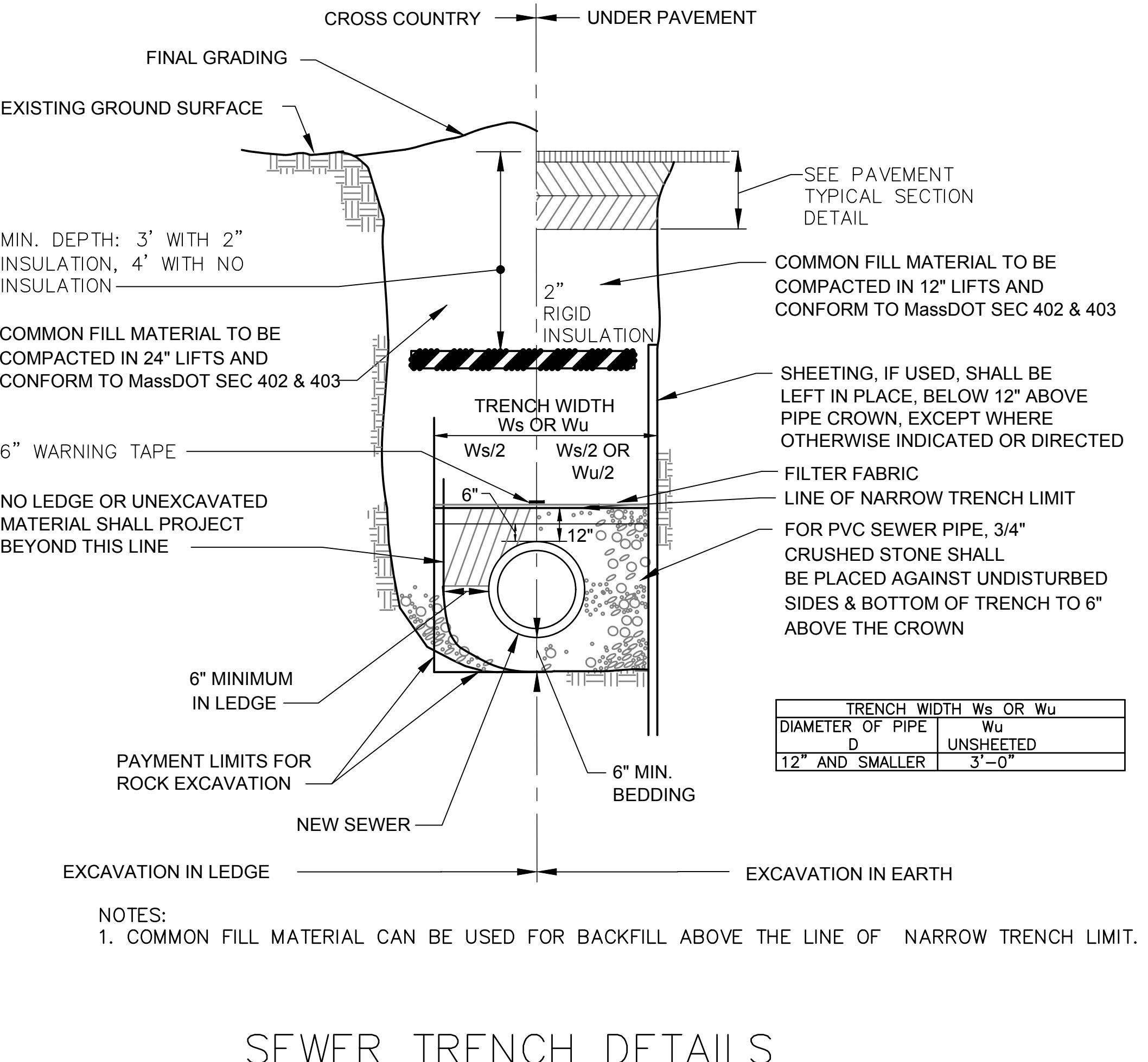
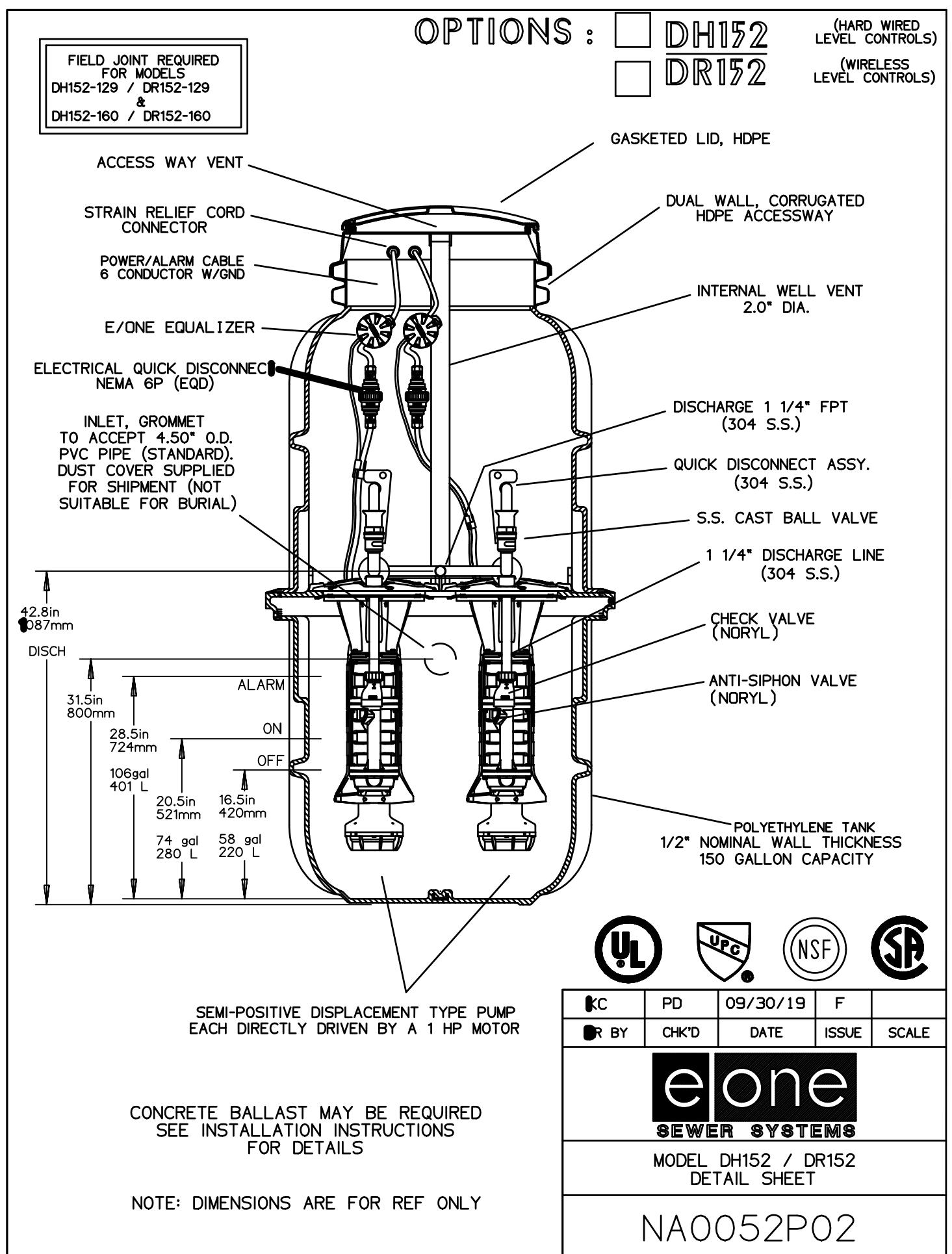
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| E | PB & CON COMM REVIEW | LDA | ALT | 2/11/2021 |
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| A | PLANNING BOARD REVIEW | DAM | ALT | 10/5/2020 |
| REV | DESCRIPTION | DWN | APP | DATE |

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207.553.7753

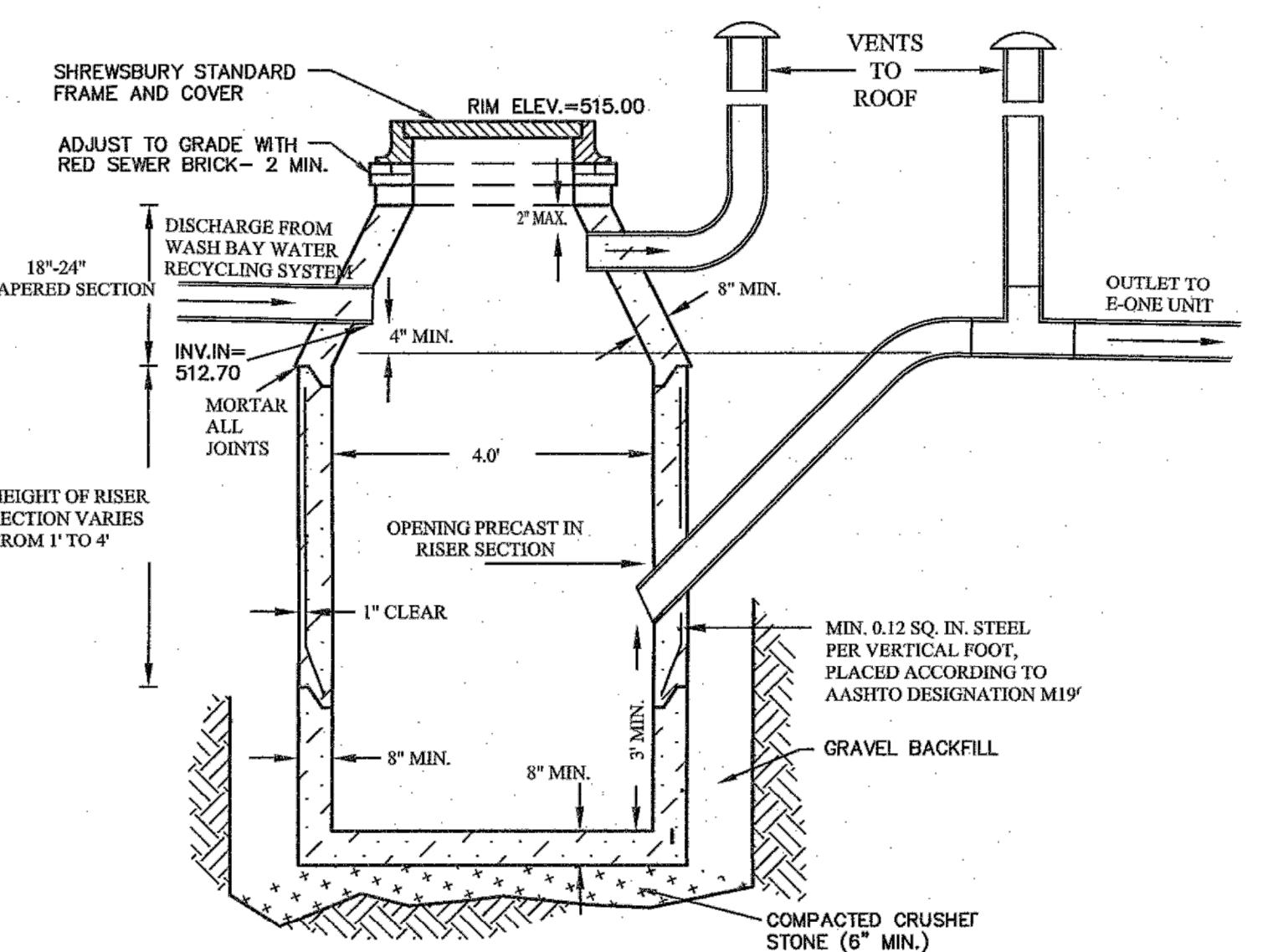
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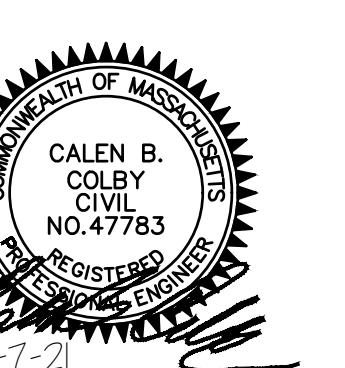
C-503



E-ONE MODEL DH152 / D4152 DETAIL
 NTS



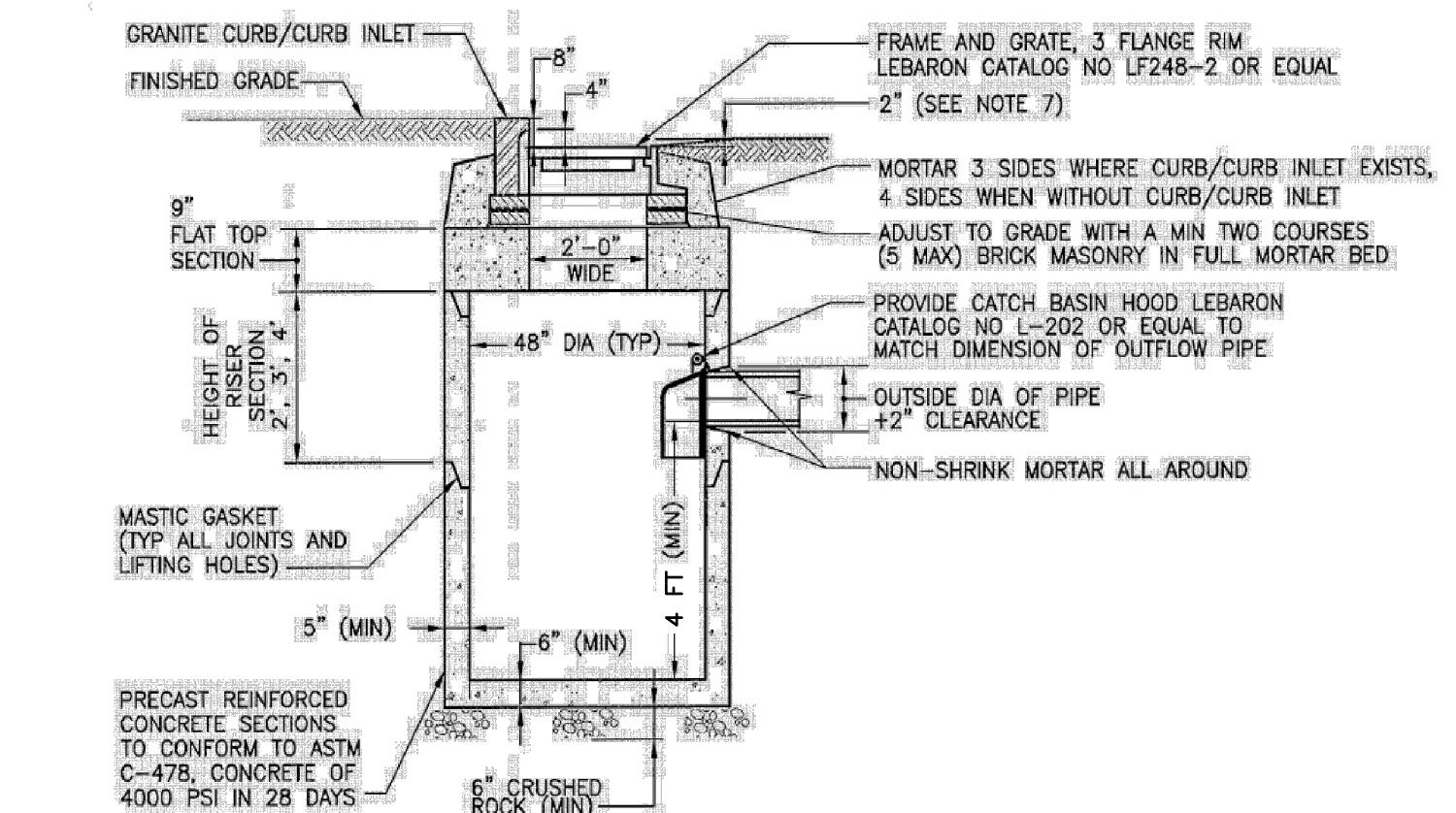
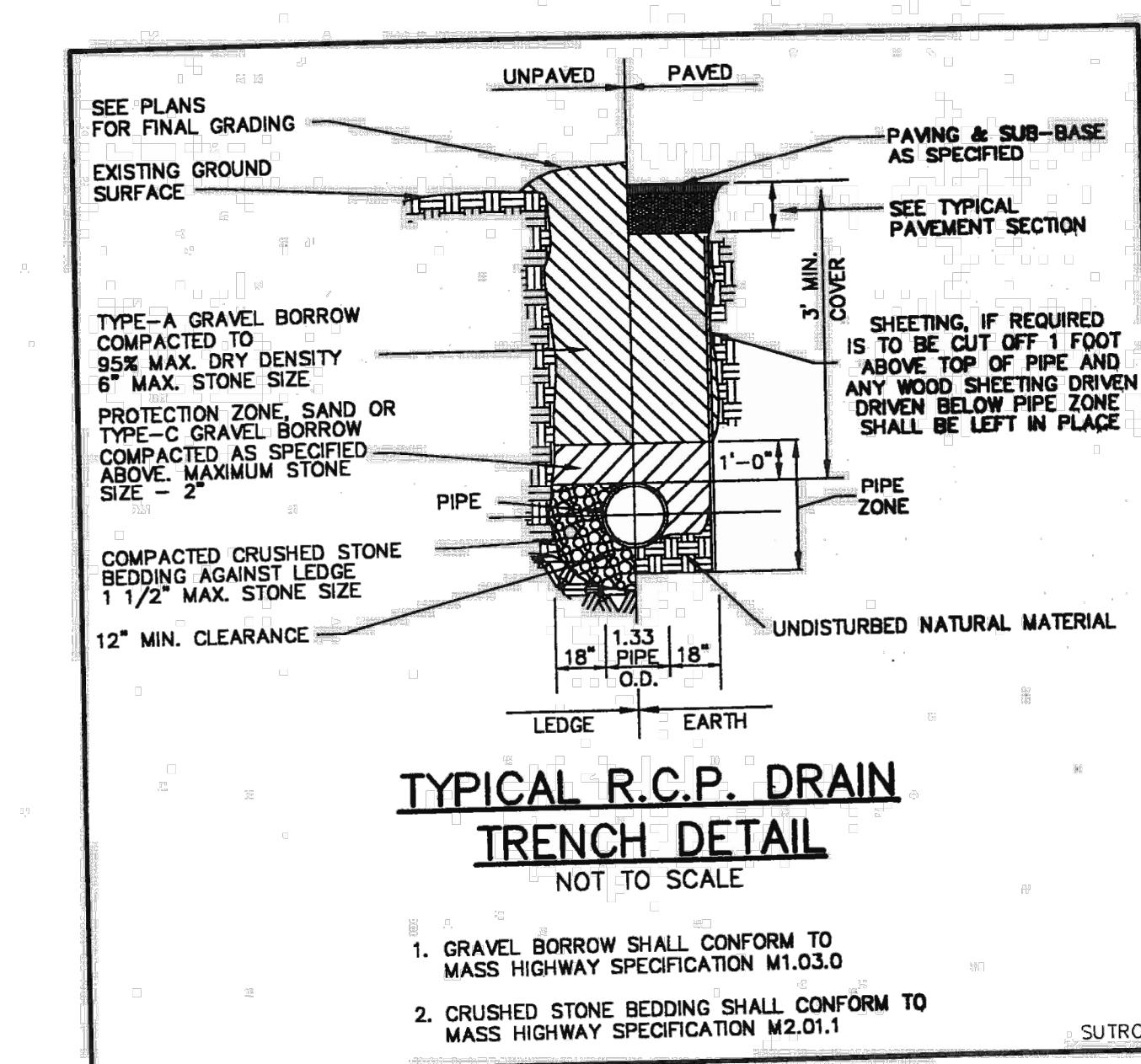
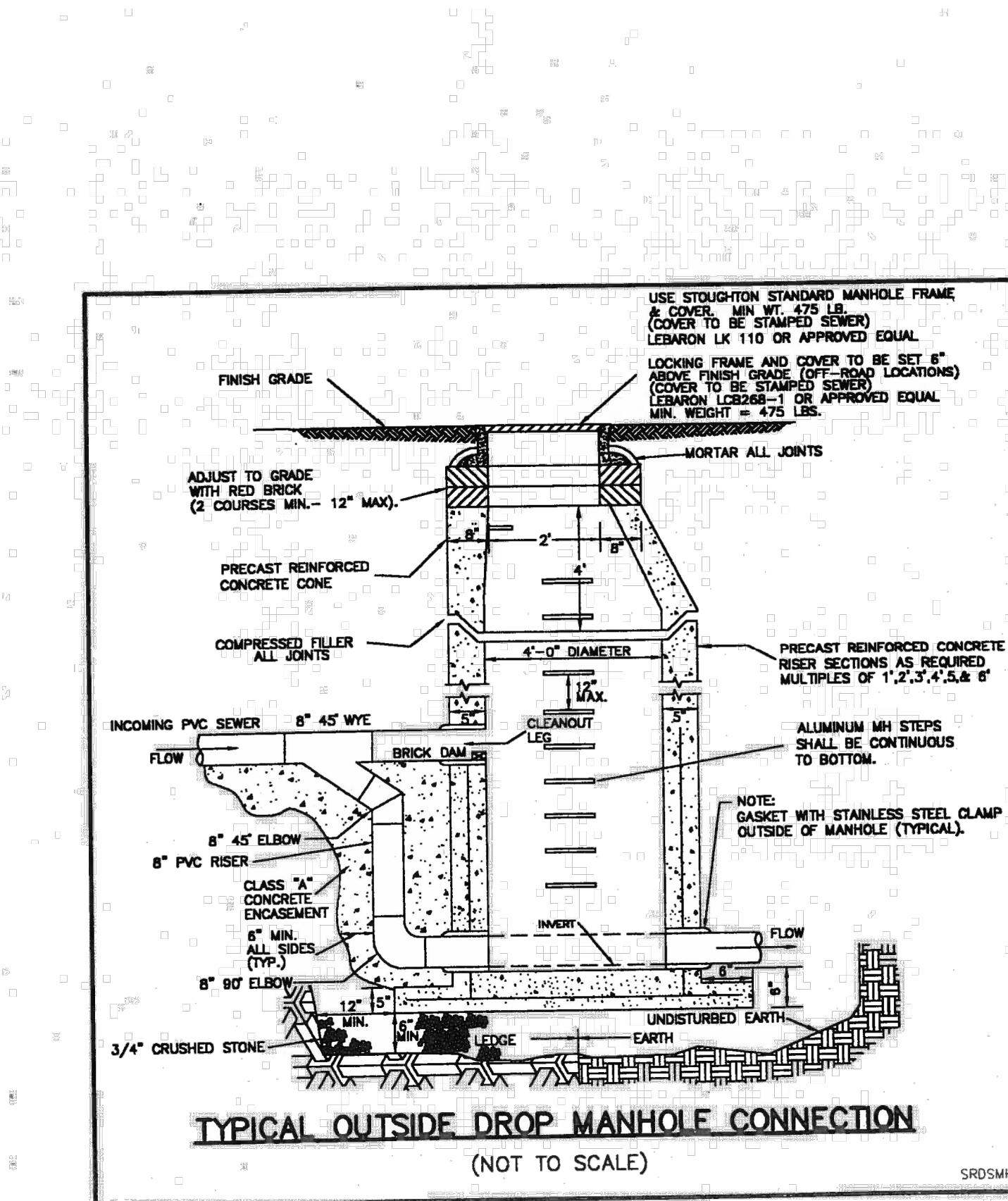
OIL WATER SEPARATOR
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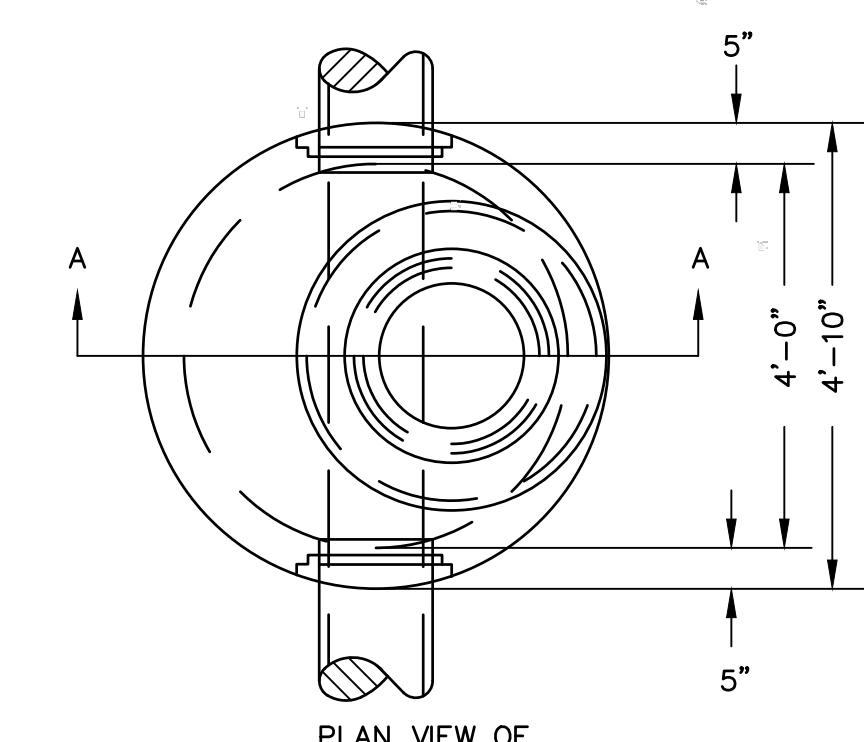
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 04101
 207.553.7753

| MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC | | | |
|--|-------------------------|----------------|-------------------------|
| 100 QUARRY DRIVE, MILFORD, MA 01757 | | | |
| E | PB & CON COMM REVIEW | LDA | ALT 2/11/2021 |
| D | ADD DRAINAGE AREA | LDA | ALT 1/21/2021 |
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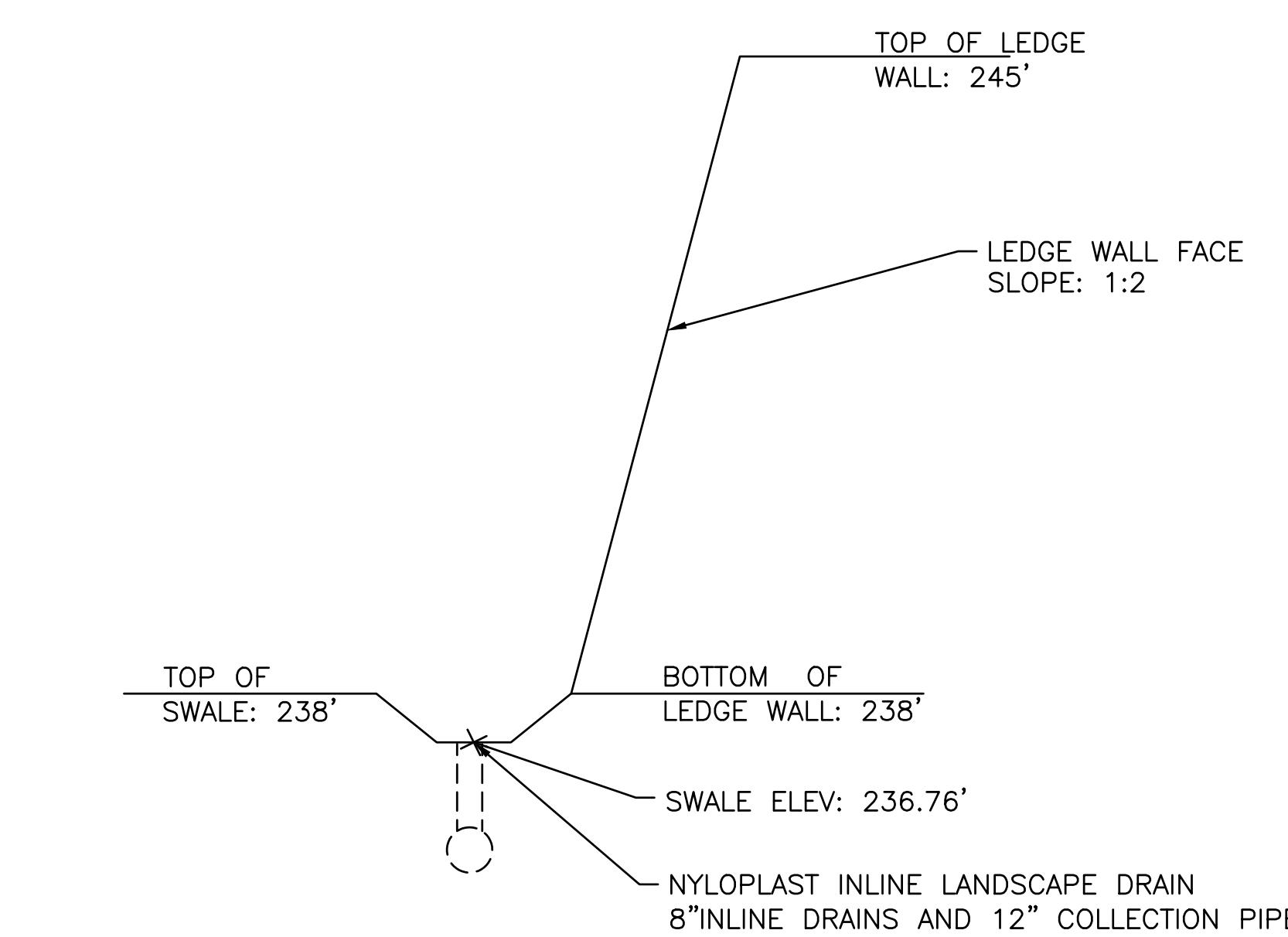
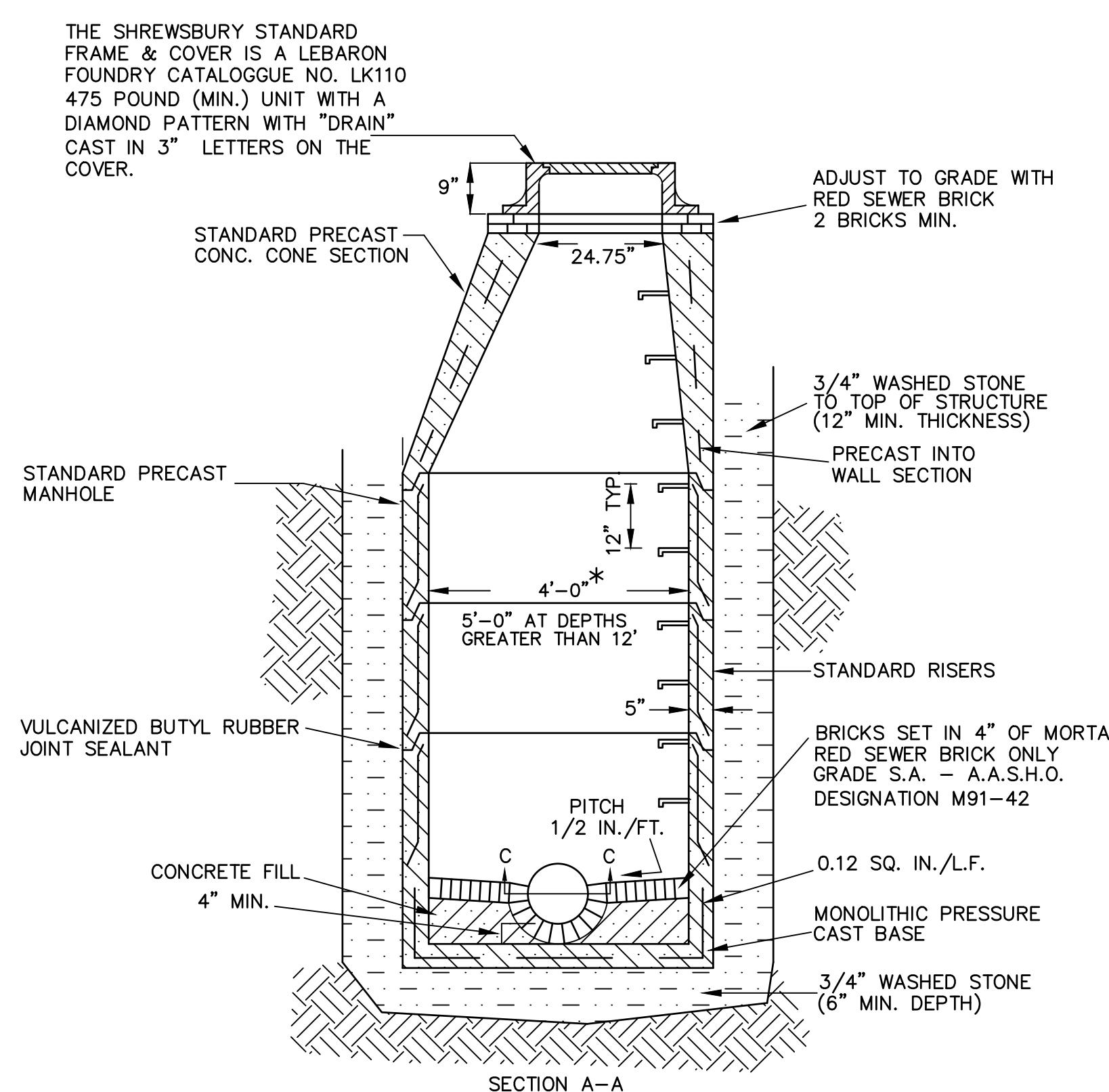
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TYPICAL CATCH BASIN DETAIL
NTS

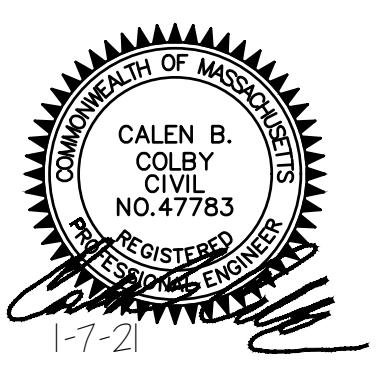


TYPICAL PRE-CAST MANHOLE
NTS



TYPICAL PRE-CAST MANHOLE
NTS

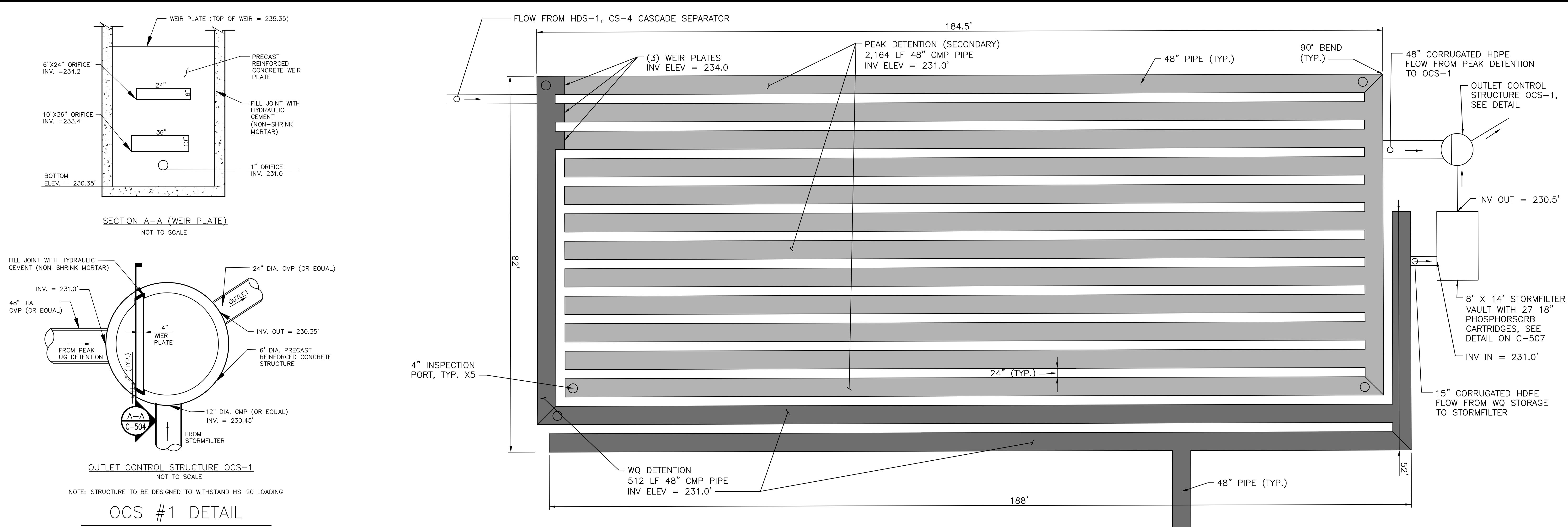
* ALL DRAIN MANHOLES GREATER THAN 12 FEET DEEP SHALL HAVE A MINIMUM INSIDE DIAMETER OF FIVE FEET.



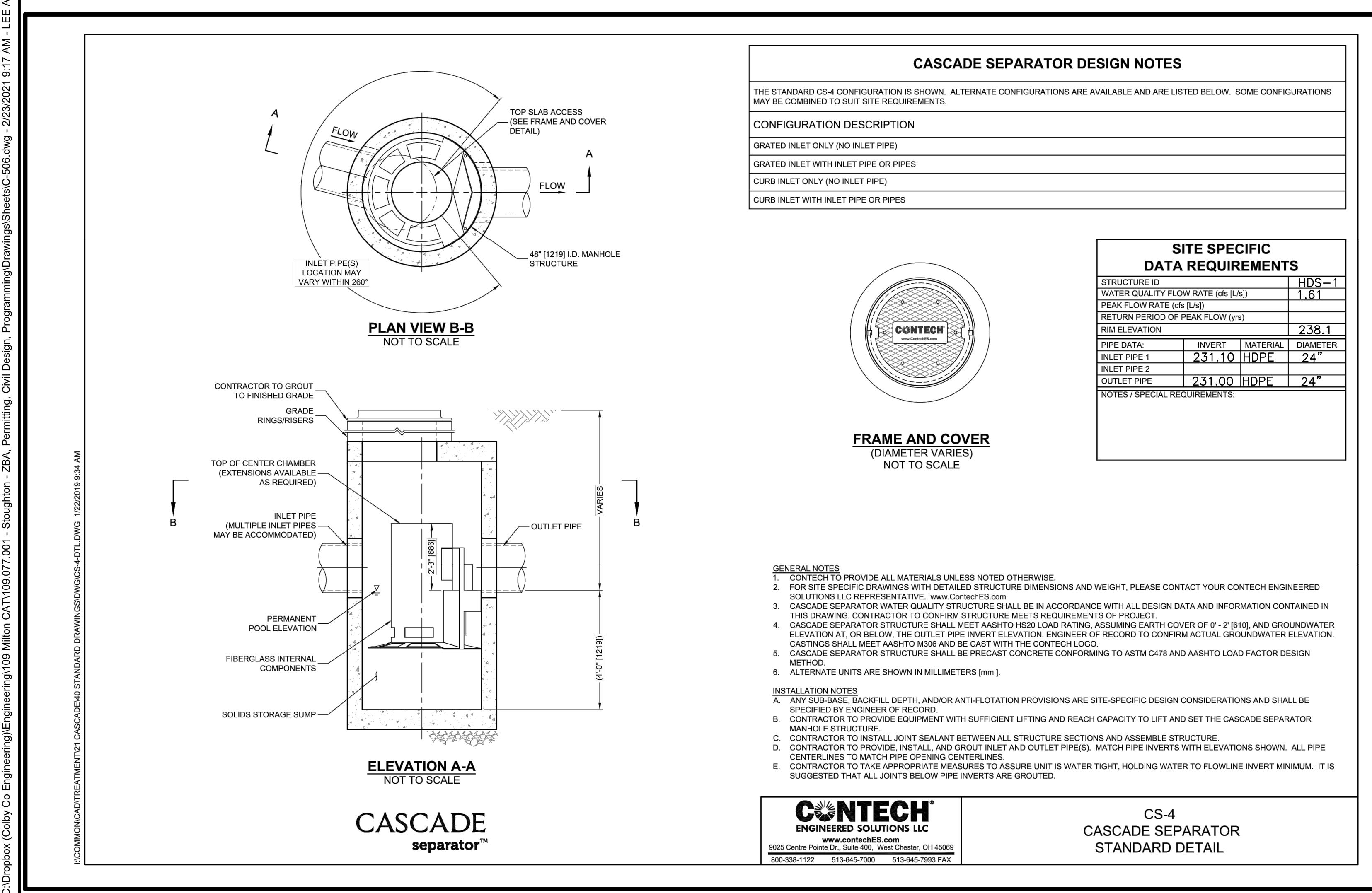
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|--|-------------------------|-------------|---------------|
| 100 QUARRY DRIVE, MILFORD, MA 01757 | | | |
| SALES & SERVICE FACILITY | | | |
| 207 PAGE STREET, STOUGHTON MA | | | |
| CONSTRUCTION DETAILS - DRAINAGE (1 OF 4) | | | |
| REV | DESCRIPTION | DWN | APP DATE |
| E | PB & CON COMM REVIEW | LDA | ALT 2/11/2021 |
| D | ADD DRAINAGE AREA | LDA | ALT 2/12/2021 |
| C | PLANNING BOARD REVIEW | DAM | ALT 1/7/2021 |
| B | CONSERVATION COMMISSION | DAM | ALT 1/24/2020 |
| A | PLANNING BOARD REVIEW | DAM | ALT 10/5/2020 |
| REV | DESCRIPTION | DWN | APP DATE |
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| DATE: | 1/7/2021 | DRAWING NO. | |
| DES BY: | LDA | SHEET | |
| DWN BY: | DAM | 23 OF 43 | |
| CKD BY: | ALT | | |

C-505



UNDERGROUND SYSTEM NOTES:
1. REFER TO TYPICAL UTILITY PIPE TRENCH DETAIL TO CONSTRUCT THE UNDERGROUND DETENTION SYSTEM.



FLOW FROM HDS-2, CS-5 CASCADE SEPARATOR

UNDERGROUND DETENTION SYSTEM #1 DETAIL

NOT TO SCALE

GENERAL NOTES

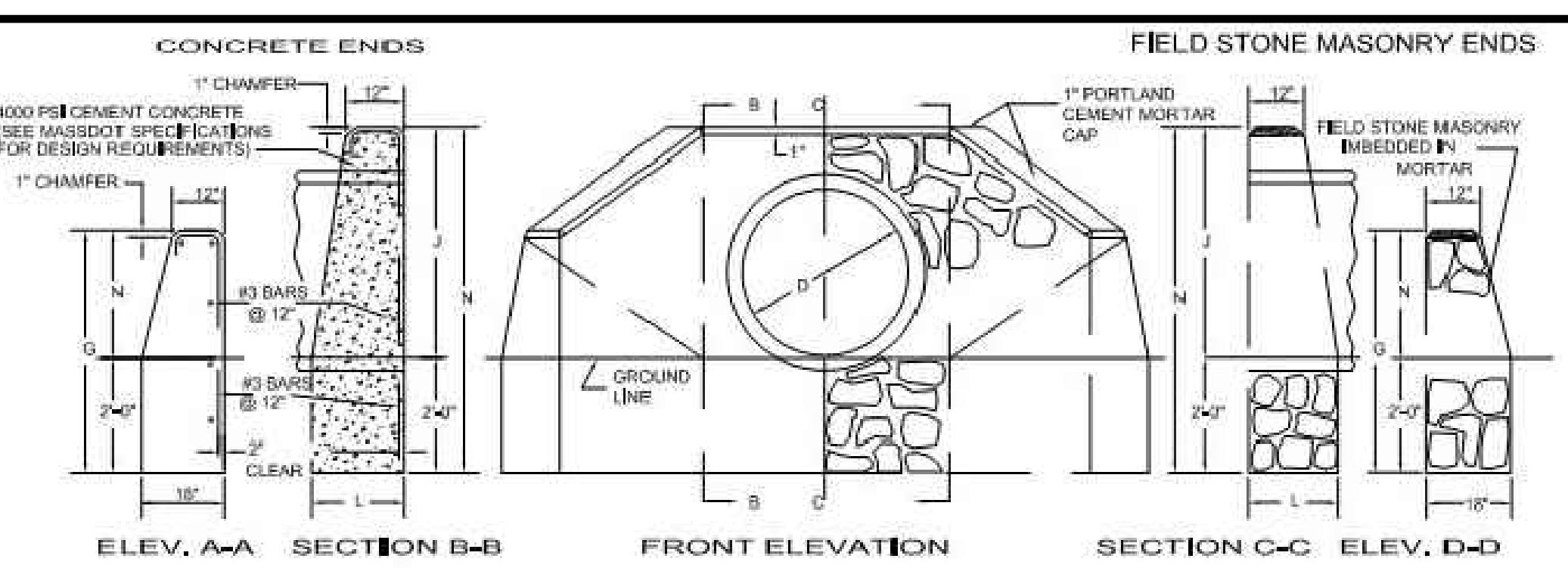
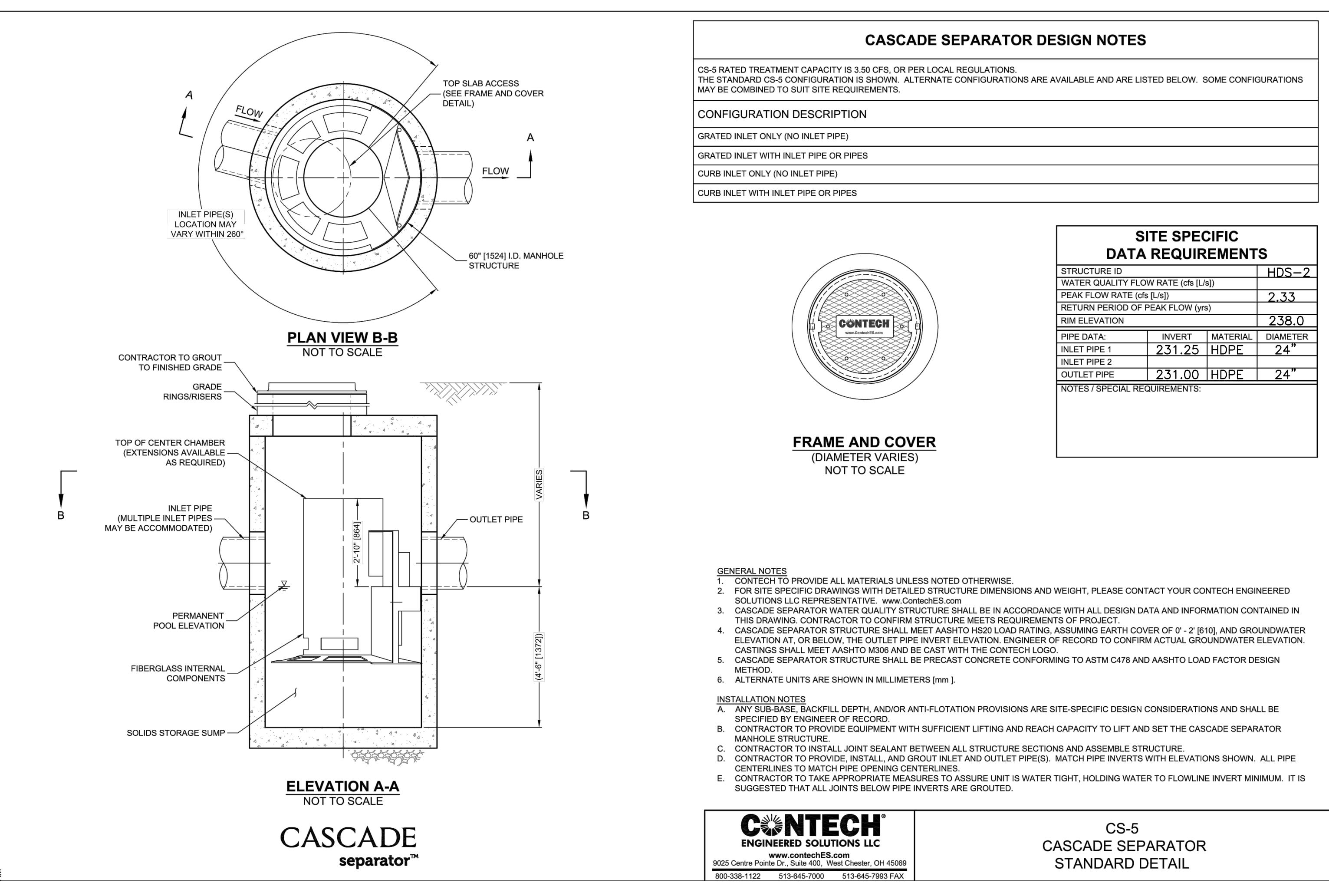
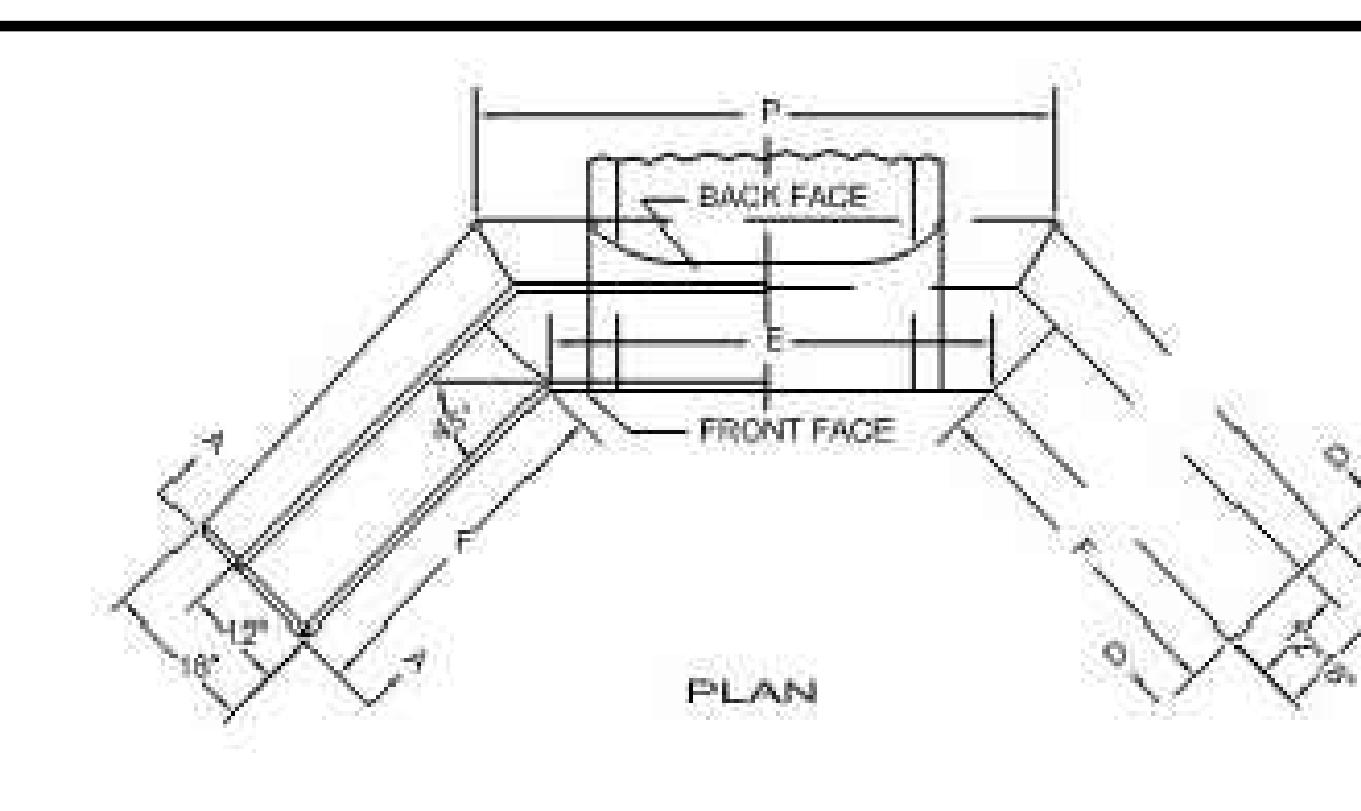
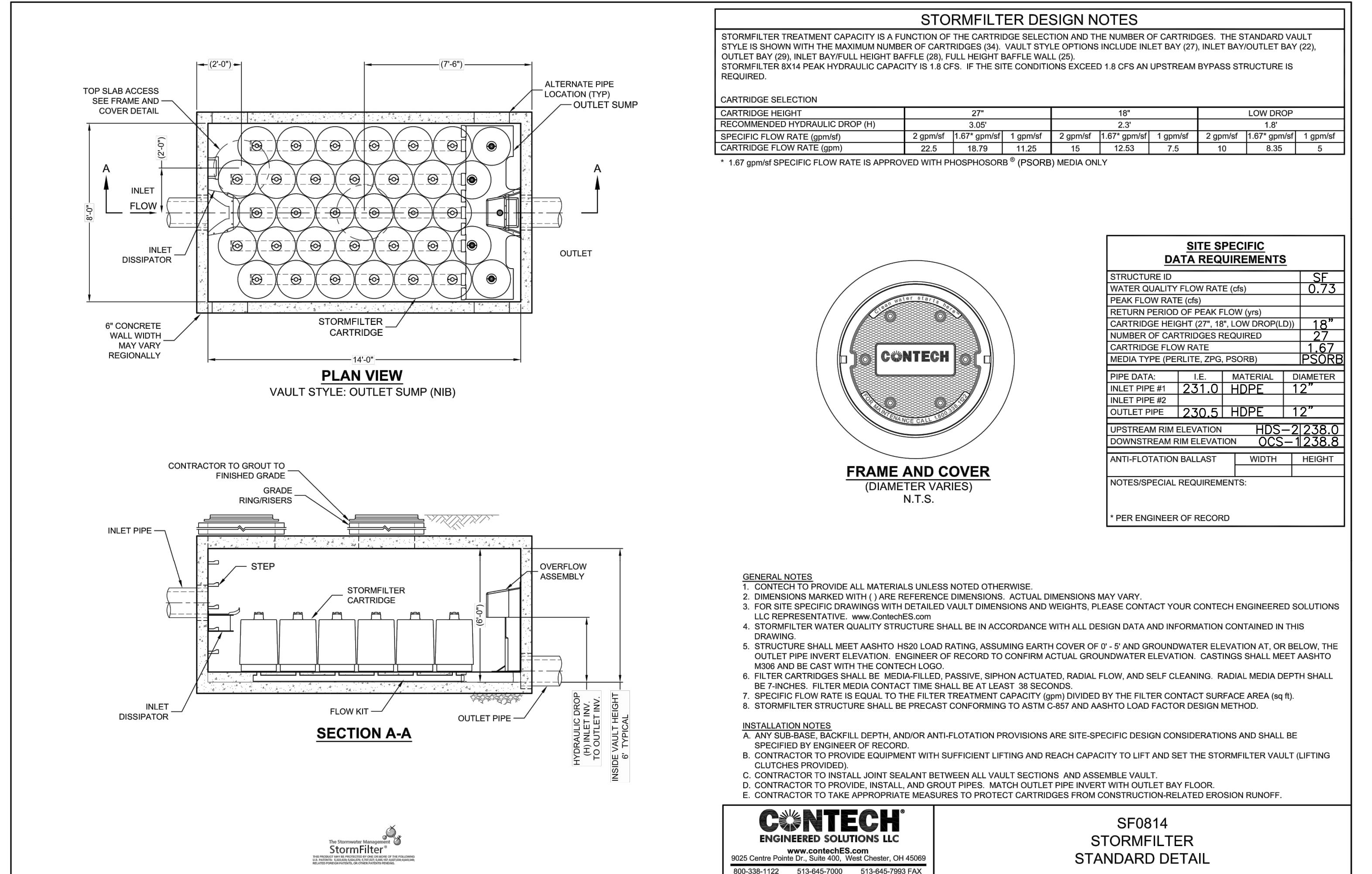
| MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| 100 QUARRY DRIVE, MILFORD, MA 01757 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SALES & SERVICE FACILITY | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 207 PAGE STREET, STOUGHTON MA | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CONSTRUCTION DETAILS - DRAINAGE (2 OF 4) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <table border="1"> <tr> <td></td><td>F ADDRESS ENGINEER COMMENTS</td><td>LDA</td><td>ALT 2/23/21</td></tr> <tr> <td></td><td>E PB & CON COMM REVIEW</td><td>LDA</td><td>ALT 2/21/2021</td></tr> <tr> <td></td><td>D ADD DRAINAGE AREA</td><td>LDA</td><td>ALT 1/21/2021</td></tr> <tr> <td></td><td>C PLANNING BOARD REVIEW</td><td>DAM</td><td>ALT 1/7/2021</td></tr> <tr> <td></td><td>B CONSERVATION COMMISSION</td><td>DAM</td><td>ALT 12/4/2020</td></tr> <tr> <td></td><td>A PLANNING BOARD REVIEW</td><td>DAM</td><td>ALT 10/5/2020</td></tr> <tr> <td>REV</td><td>DESCRIPTION</td><td>DWN</td><td>APP DATE</td></tr> </table> | | | |  | F ADDRESS ENGINEER COMMENTS | LDA | ALT 2/23/21 | | E PB & CON COMM REVIEW | LDA | ALT 2/21/2021 | | D ADD DRAINAGE AREA | LDA | ALT 1/21/2021 | | C PLANNING BOARD REVIEW | DAM | ALT 1/7/2021 | | B CONSERVATION COMMISSION | DAM | ALT 12/4/2020 | | A PLANNING BOARD REVIEW | DAM | ALT 10/5/2020 | REV | DESCRIPTION | DWN | APP DATE |
|  | F ADDRESS ENGINEER COMMENTS | LDA | ALT 2/23/21 | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | E PB & CON COMM REVIEW | LDA | ALT 2/21/2021 | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | D ADD DRAINAGE AREA | LDA | ALT 1/21/2021 | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | C PLANNING BOARD REVIEW | DAM | ALT 1/7/2021 | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | B CONSERVATION COMMISSION | DAM | ALT 12/4/2020 | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | A PLANNING BOARD REVIEW | DAM | ALT 10/5/2020 | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| DATE: 1/7/2021 | DES BY: LDA | SHEET | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DEW BY: DAM | CKD BY: ALT | 24 OF 43 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

CALEN B.
CIVIL
NO. 47783
REGISTERED
ENGINEER
1-7-21

47A York St
Portland, ME
04101
207.553.7753

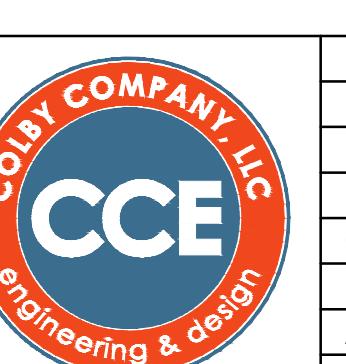
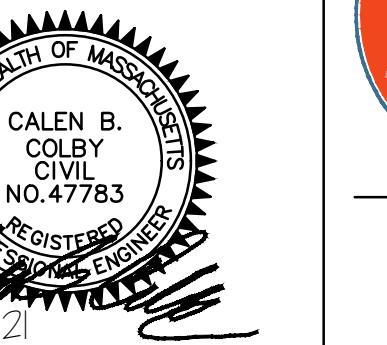
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C-506



NOTE: HEADWALL TO BE DESIGNED AND STAMPED BY A STRUCTURAL ENGINEER LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS. THE DESIGN MUST BE SUBMITTED TO THE TOWN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

HEADWALL DETAIL
NTS



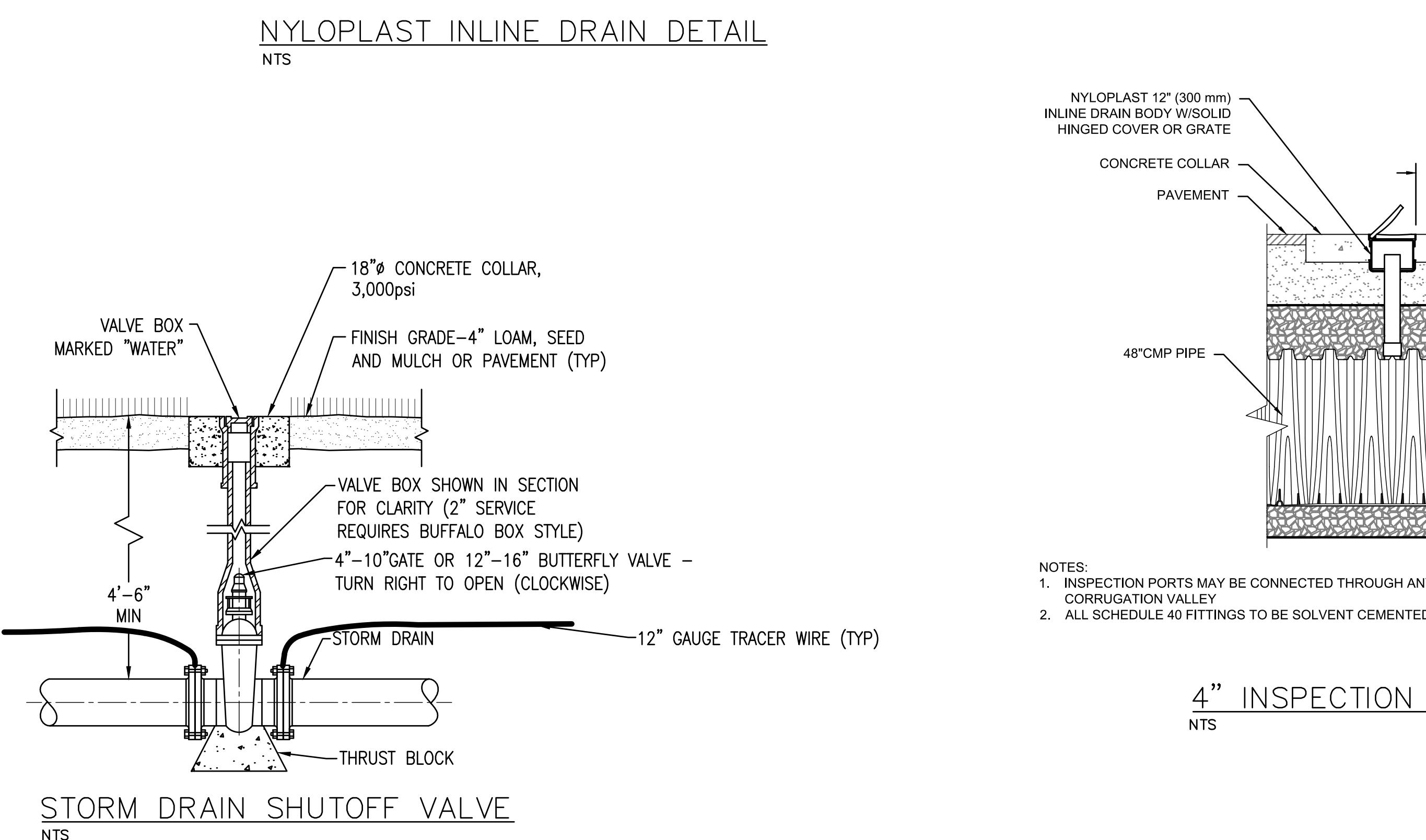
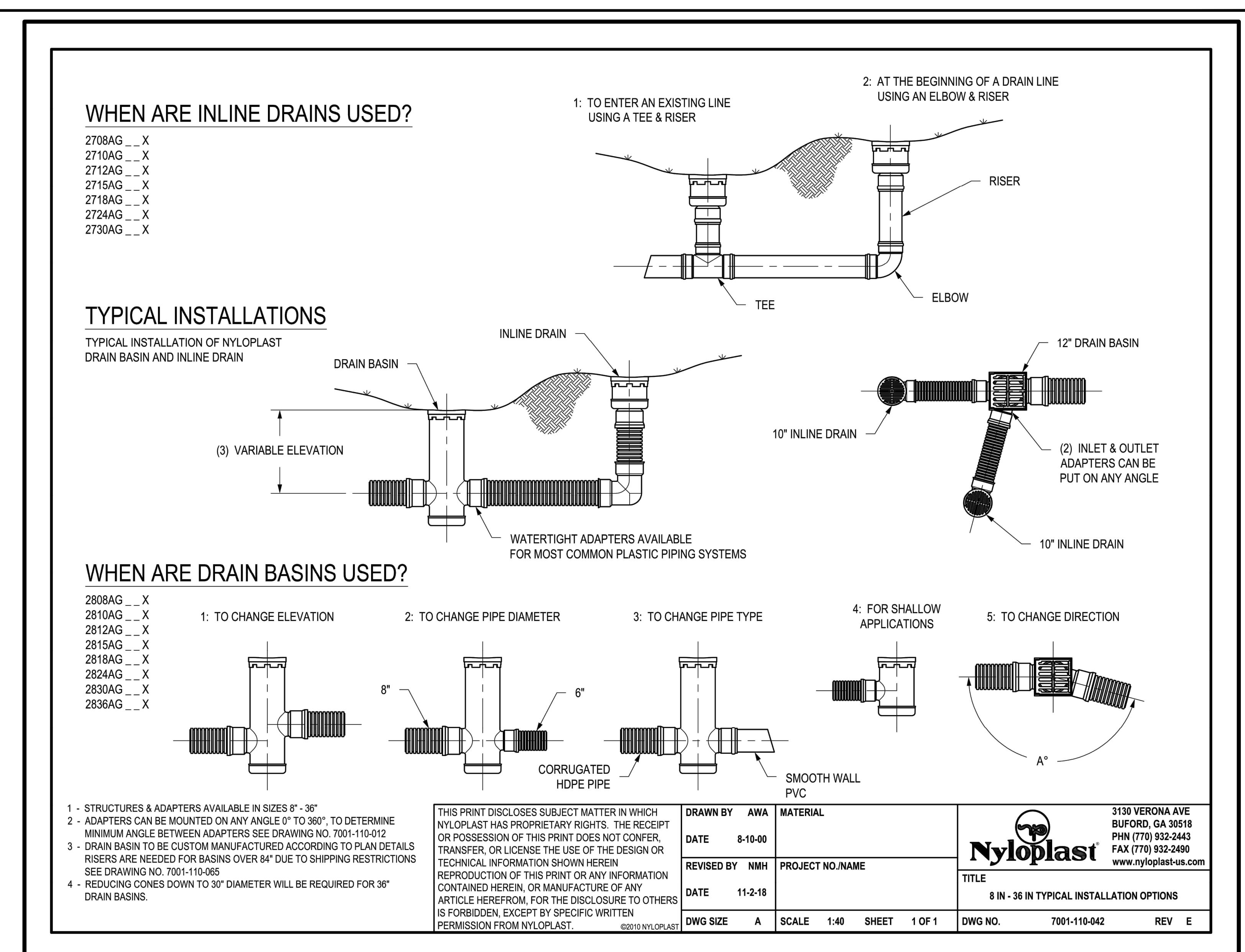
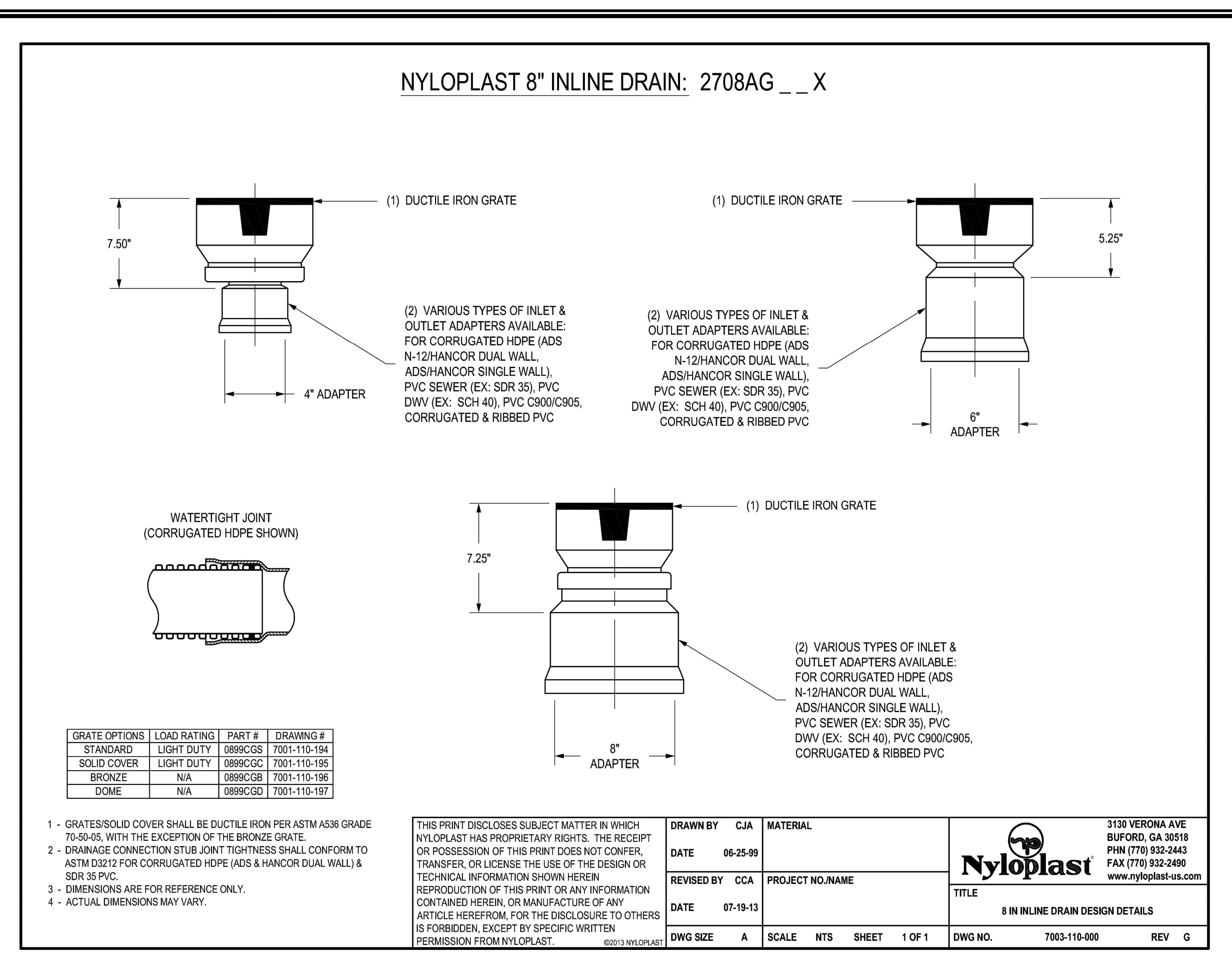
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| A | PLANNING BOARD REVIEW | DAM | APP | 10/5/2020 | | | |
| REV | DESCRIPTION | DWN | APP | DATE | | | |
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MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC
100 QUARRY DRIVE, MILFORD, MA 01757

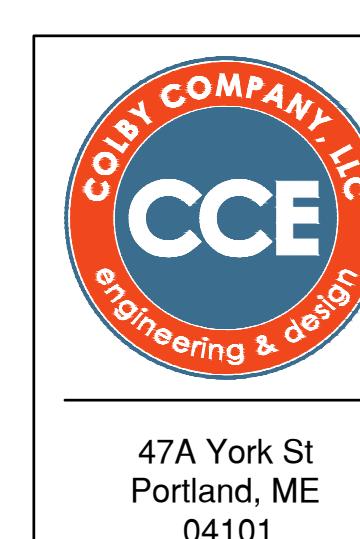
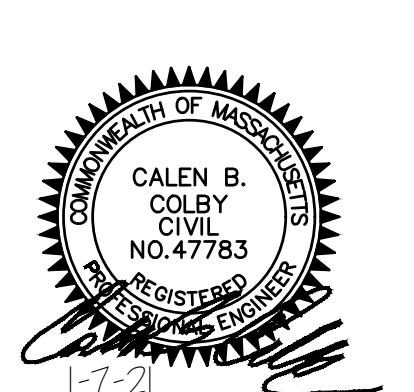
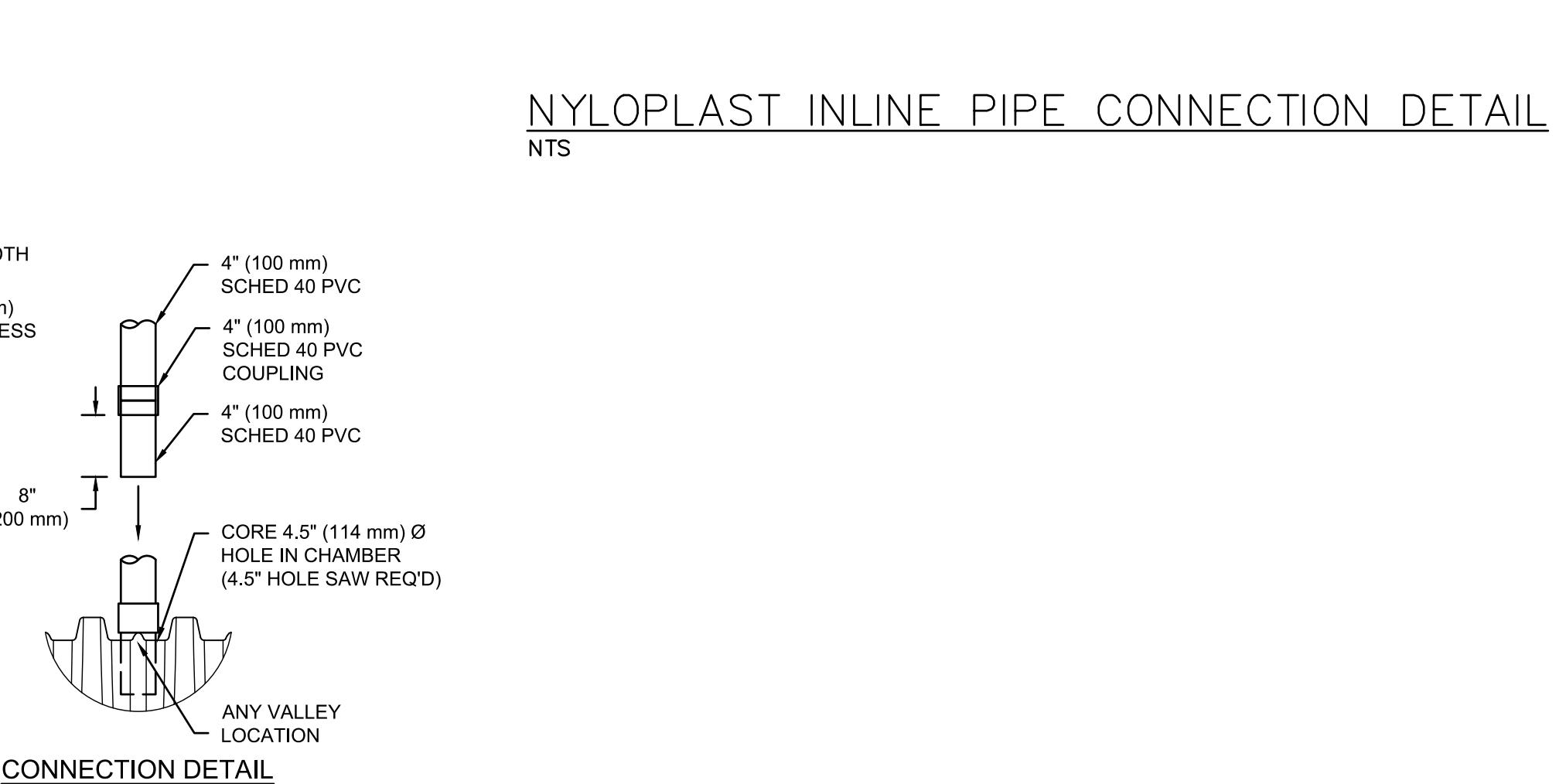
SALES & SERVICE FACILITY
207 PAGE STREET, STOUGHTON MA

CONSTRUCTION DETAILS - DRAINAGE (3 OF 4)



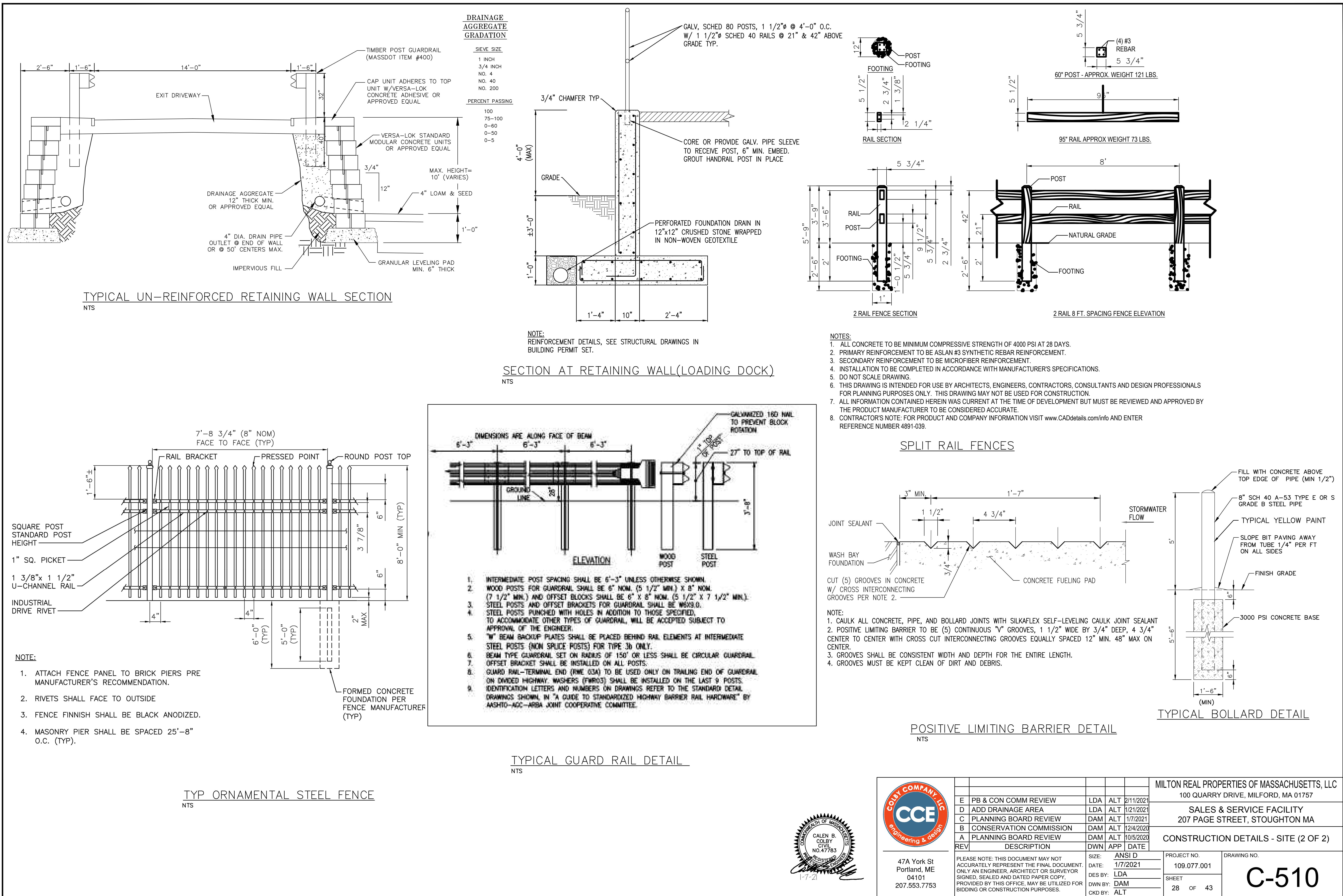
4" INSPECTION PORT DETAIL

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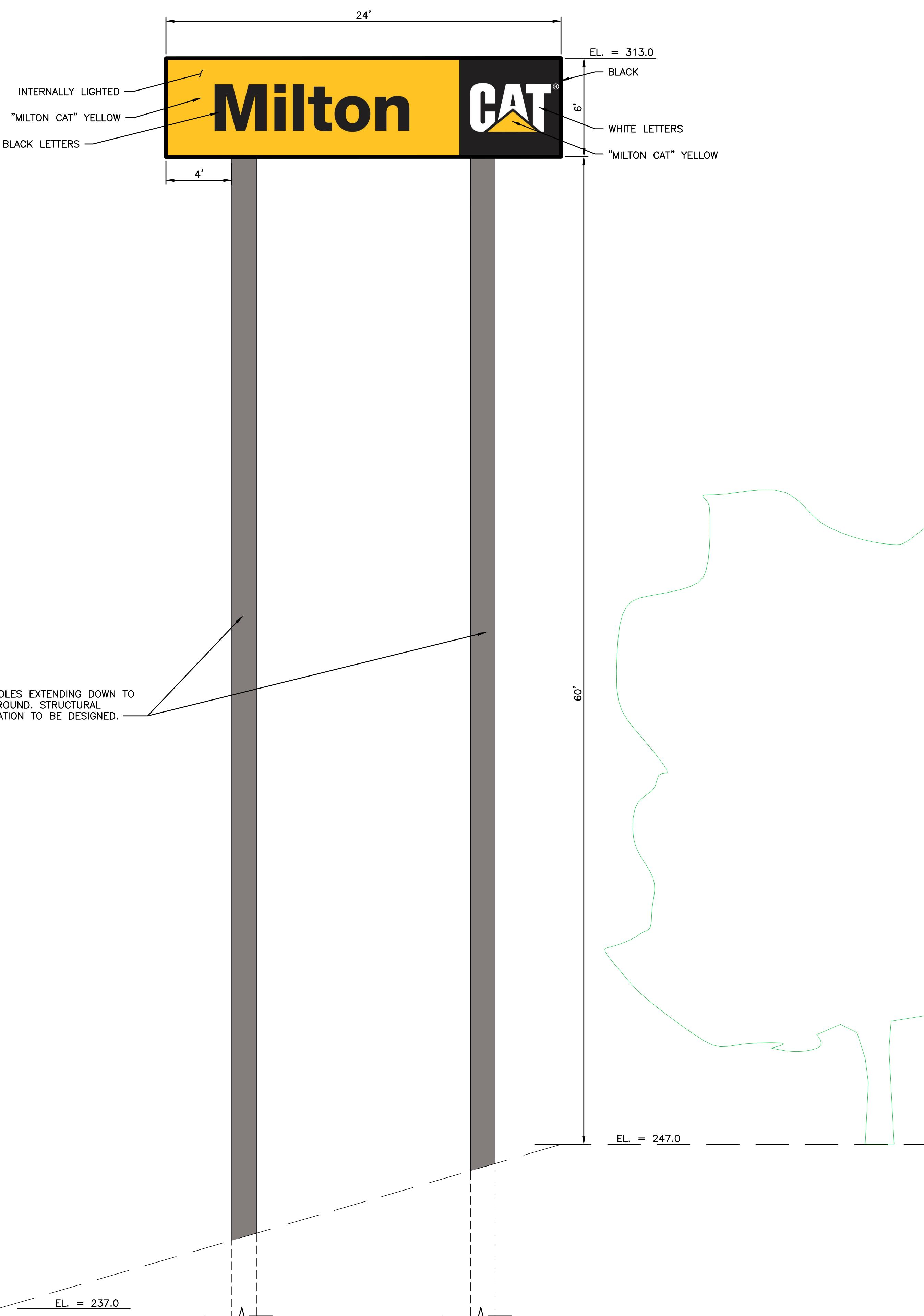


| MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC | | | |
|--|-------------------------|-------------|--|
| 100 QUARRY DRIVE, MILFORD, MA 01757 | | | |
| SALES & SERVICE FACILITY | | | |
| 207 PAGE STREET, STOUGHTON MA | | | |
| CONSTRUCTION DETAILS - DRAINAGE (4 OF 4) | | | |
| SIZE: ANSI D | PROJECT NO. 109.077.001 | DRAWING NO. | |
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| CKD BY: ALT | | | |
| SHEET 26 OF 43 | | | |

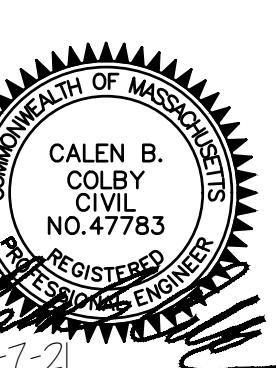
C-508



C:\Dropbox (Colby Co Engineering)\Engineering\109 Milton CAT109.077.001 - Stoughton - ZBA, Permitting, Civil Design, Programming\Drawings\Sheets\C-511.dwg - 2/10/2021 11:23 AM - DAVID MANZO



60' HIGH POLE SIGN ALONG RT 24

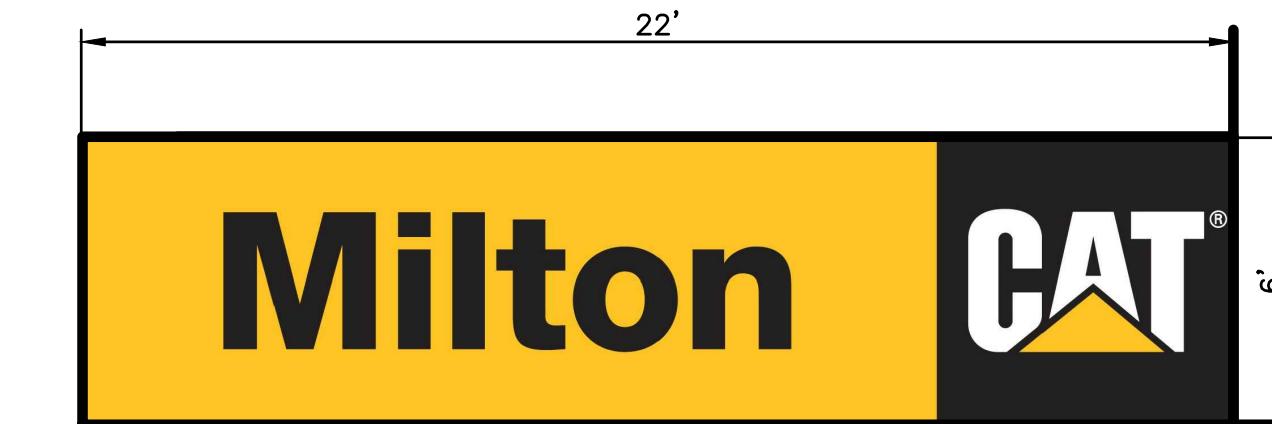


BUILDING MOUNTED SIGN

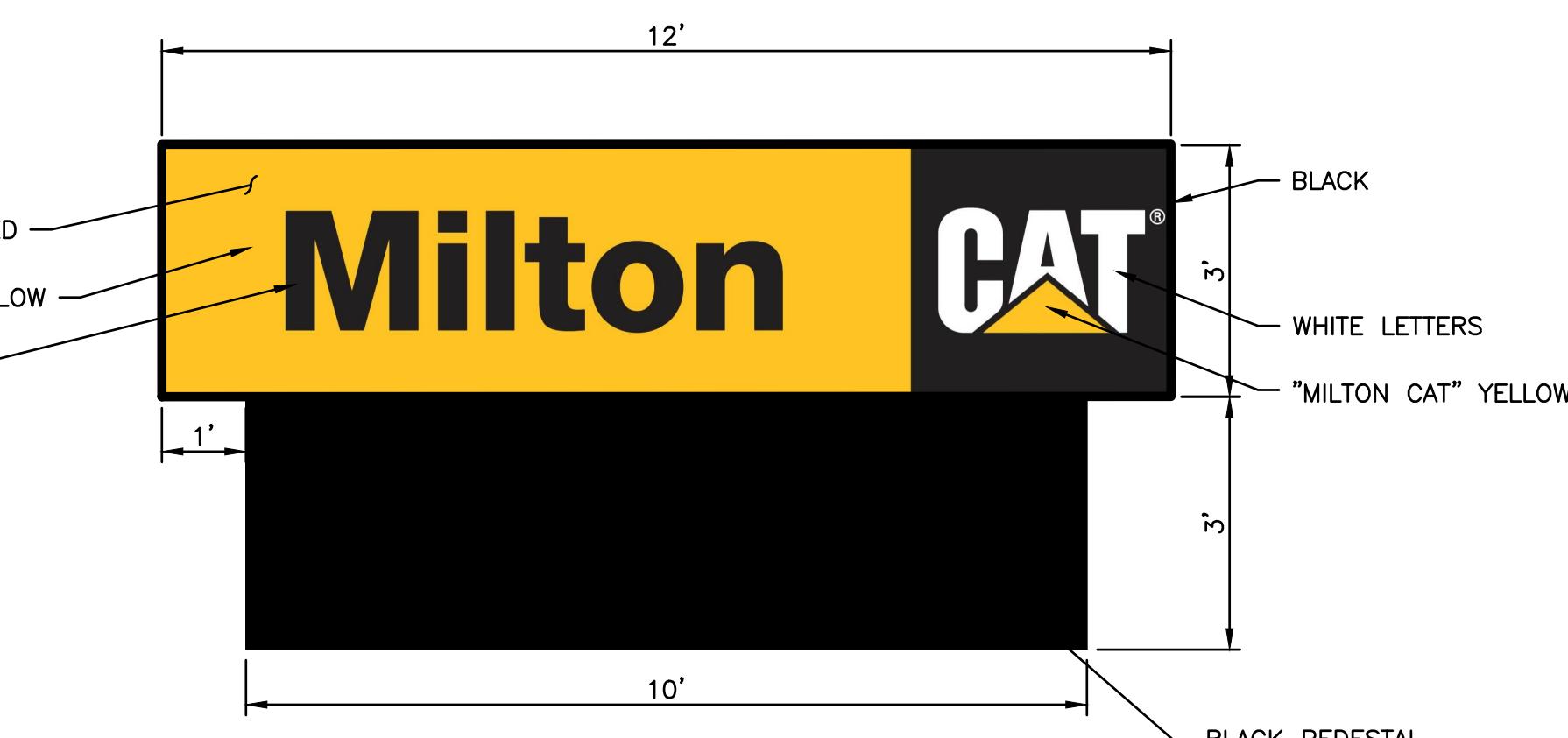
TOWN OF STOUGHTON SIGN ORDINANCE REQUIRES THAT BUILDING SIGNS BE 150 SF OR 10% OF THE ELEVATION AREA, WHICHEVER IS LESS.

BUILDING MOUNTED SIGN TO BE MOUNTED TO THE SOUTH AND EAST ELEVATIONS.

AREA OF EAST ELEVATION = 6,361 SF 10% x 6,361 SF = 636 SF*
AREA OF SOUTH ELEVATION = 6,127 SF 10% x 6,127 SF = 613 SF*
BOTH AREAS > 150 SF, USE THE LESSER AREA = 150 SF
SIGN DIMENSIONS = 6'x22' = 132 SF < 150 SF



BUILDING MOUNTED SIGN



COMPANY ENTRANCE SIGN

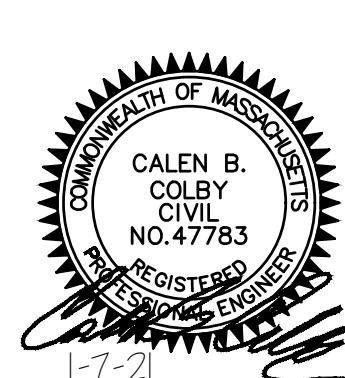
| | | | | | | |
|--|-----|-------------------------|---------|----------|---|-----------|
|  <p>47A York St Portland, ME 04101 207.553.7753</p> | | | | | <p>MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757</p> <p>SALES & SERVICE FACILITY 207 PAGE STREET, STOUGHTON MA</p> <p>CONSTRUCTION DETAILS - SIGNAGE</p> | |
| | E | PB & CON COMM REVIEW | LDA | ALT | | 2/11/2021 |
| | D | ADD DRAINAGE AREA | LDA | ALT | | 1/21/2021 |
| | C | PLANNING BOARD REVIEW | DAM | ALT | | 1/7/2021 |
| | B | CONSERVATION COMMISSION | DAM | ALT | | 12/4/2020 |
| | A | PLANNING BOARD REVIEW | DAM | ALT | | 10/5/2020 |
| | REV | DESCRIPTION | DWN | APP | DATE | |
| <p>PLEASE NOTE: THIS DOCUMENT MAY NOT ACCURATELY REPRESENT THE FINAL DOCUMENT. ONLY AN ENGINEER, ARCHITECT OR SURVEYOR SIGNED, SEALED AND DATED PAPER COPY, PROVIDED BY THIS OFFICE, MAY BE UTILIZED FOR BIDDING OR CONSTRUCTION PURPOSES.</p> | | | SIZE: | ANSI D | <p>PROJECT NO. 109.077.001</p> <p>DRAWING NO.</p> <p>SHEET 29 OF 43</p> | |
| | | | DATE: | 1/7/2021 | | |
| | | | DES BY: | LDA | | |
| | | | DWN BY: | DAM | | |
| | | | CKD BY: | ALT | | |
| <p>C-511</p> | | | | | | |

C-511



PRE-DEVELOPMENT WATER QUALITY PLAN

SCALE: 1" = 50' - 0'



| REV | DESCRIPTION | DWN | APP | DATE |
|-----|-------------------------|-----|-----|-----------|
| E | PB & CON COMM REVIEW | LDA | ALT | 2/11/2021 |
| D | ADD DRAINAGE AREA | LDA | ALT | 1/21/2021 |
| C | PLANNING BOARD REVIEW | DAM | ALT | 1/7/2021 |
| B | CONSERVATION COMMISSION | DAM | ALT | 12/4/2020 |
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| REV | DESCRIPTION | DWN | APP | DATE |

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SIZE: ANSI D
 DATE: 1/7/2021
 DES BY: LDA
 DWN BY: DAM
 CKD BY: ALT

PROJECT NO. 109.077.001
 SHEET 30 OF 43

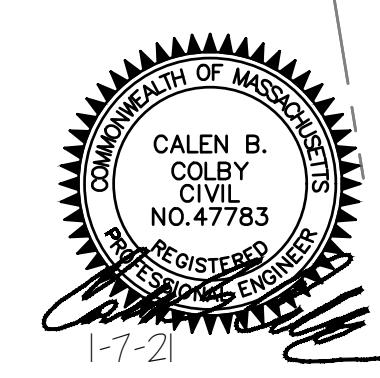
MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC
100 QUARRY DRIVE, MILFORD, MA 01757
SALES & SERVICE FACILITY
207 PAGE STREET, STOUGHTON MA
PRE-DEVELOPMENT WATER QUALITY PLAN

WQ-101

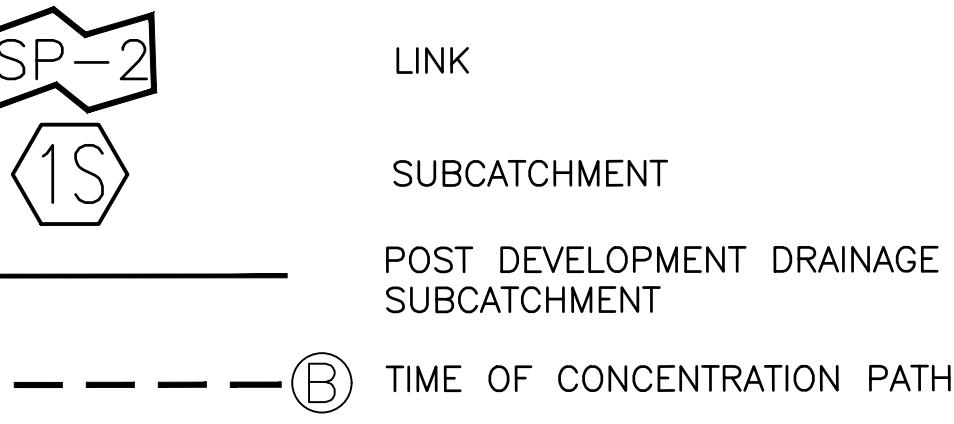


POST-DEVELOPMENT WATER QUALITY PLAN

SCALE: 1" = 50'-0"



47A York St
Portland, ME
04101
207.553.7753



| MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC | | | |
|---|-------------------------|-------------|---------------|
| 100 QUARRY DRIVE, MILFORD, MA 01757 | | | |
| SALES & SERVICE FACILITY | | | |
| 207 PAGE STREET, STOUGHTON MA | | | |
| POST-DEVELOPMENT WATER QUALITY PLAN | | | |
| E | PB & CON COMM REVIEW | LDA | ALT 2/11/2021 |
| D | ADD DRAINAGE AREA | LDA | ALT 1/21/2021 |
| C | PLANNING BOARD REVIEW | DAM | ALT 1/7/2021 |
| B | CONSERVATION COMMISSION | DAM | ALT 12/4/2020 |
| A | PLANNING BOARD REVIEW | DAM | ALT 10/5/2020 |
| REV | DESCRIPTION | DWN | APP DATE |
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| SIZE: | ANSI D | PROJECT NO. | 109.077.001 |
| DATE: | 1/7/2021 | DRAWING NO. | WQ-102 |
| DES BY: | LDA | SHEET | 31 OF 43 |
| DWN BY: | DAM | | |
| CKD BY: | ALT | | |



LANDSCAPE PLAN

SCALE: 1" = 40'-0"

Plant Species List

| ID | Qty | Latin Name | Common Name | Scheduled Size | Remarks |
|-----|-----|--|----------------------------|----------------|----------------------------|
| AAC | 25 | Aronia arbutifolia | Red Chokeberry | 2'-3' | 6' o.c. Conservation Grade |
| BLC | 8 | Betula lenta | Sweet Birch | 4'-6' | 6' o.c. Conservation Grade |
| CRC | 34 | Cornus racemosa | Gray Dogwood | 2'-3' | B&B |
| CSH | 4 | Catalpa speciosa 'Heartland' | Heartland Northern Catalpa | 2.5'-3" cal. | cont. 4' o.c. |
| DL | 21 | Dierama lonicera | Dwarf Bush Honeysuckle | 18"-24" | B&B |
| GT | 4 | Gleditsia triacanthos inermis 'Sunburst' | Sunburst Honeylocust | 2.5"-3" cal. | 1 gal. |
| HRR | 29 | Hemerocallis x 'Rosy Returns' | Rosy Returns Davilley | 5"-6" | 18"-24" |
| JVG | 13 | Juniperus virginiana 'Emerald Sentinel' | Emerald Sentinel Juniper | 5"-6" | B&B, 6' o.c. |
| PA | 21 | Juniperus virginiana 'Grey Owl' | Grey Owl Juniper | 18"-24" | cont. 4' o.c. |
| OR | 4 | Picea abies | Norway Spruce | 5"-6" | B&B |
| ORC | 9 | Quercus rubra | Red Oak | 2.5"-3" cal. | 18" o.c. |
| SB | 21 | Spiraea betulifolia 'Tor' | Tor Birchleaf Spirea | 4"-6" | Conservation Grade |
| | | | | 15"-18" | cont. 3' o.c. |

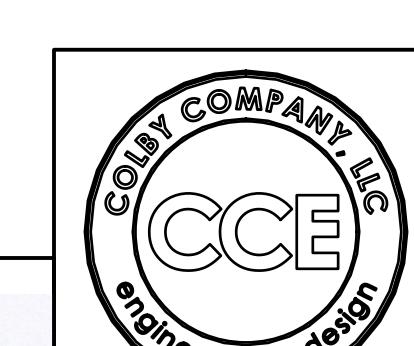
Plant Notes:

1. The Landscape Contractor is advised that the plan and planting notes on this drawing and the details depicted on this drawing are part of a larger set of drawings.
2. The Landscape Contractor is advised of the existence of underground utilities. The Landscape Contractor shall verify utilities prior to commencing construction. Call 888-DIG-SAFE at 1-888-344-7233.
3. The Landscape Contractor shall be responsible for repairing any utilities, walks, paving, curbing, etc. damaged in the performance of this job at no cost to the Owner. The Landscape Contractor shall notify the Landscape Architect immediately if they encounter any site conditions, which will not allow them to carry out the landscape installation according to the drawings.
4. Planting shall not occur until the pavement and sidewalks are installed and completed. All islands and planting areas, shall have 24" of planting soil mix, installed and rolled prior to planting. The finished elevation of the planting soil mix shall be 2" below to the top of the curb. All islands and medians are crowned a minimum of 6" at the center of the island and graded to drain. Submit a sample of the topsoil with NPK, pH, calcium, aluminum effective cation exchange capacity tests and fertility recommendations as well as bulk density test of the sample. Topsoil shall be friable void of weeds, stones greater than 3/4" diameter, sticks and other debris. Topsoil shall contain, 70-80% sand, 5-20% silt, 5.0-8% organic matter and a pH of 6-6.9. Notify the Landscape Architect immediately if there is standing water or other factors, which would prohibit the installation of plant material.
5. All plants shall have a normal habit of growth for the species and shall be sound, healthy and free of disease and insects. All plants shall be legibly tagged with the proper complete botanical name. They shall conform to the measurements on the Plant List and shall conform to ANSI Z60.1 - Nursery Stock, latest revision. Prior to plant installation, the Landscape Contractor shall submit a written affidavit of all plant species, cultivars, varieties, sizes and quantities that they propose to install with the name, phone number and location of all nurseries where plant material has been grown. All plants shall be grown in a latitude north of Washington D.C. The Landscape Architect will inspect all plants at the place of growth or upon delivery for conformity to the plant list and specifications. Such approval shall not affect the right of inspection and rejection during the progress of work. The Landscape Architect and Owner reserve the right to inspect, select and tag all plant material at the place of growth or select and approve a representative sample of each type of shrub, perennial, groundcover and annual. The samples selected will serve as a minimum standard for all plants of the same species used for this work.
6. The top 1/3 of wire baskets and burlap on trees shall be cut and removed. All other plant material including trees shall have all non-biodegradable materials (string, wire, pots, etc.) removed at the time of planting. Circling roots or roots that would later girdle the plant shall be straightened, cut or the root ball shall be cut utilizing a split ball technique.
7. Backfill mix shall be composed of an 80/20 top soil/ peat moss mix. Planting pits shall be excavated to three times the diameter and to the same depth of the plant root ball. Backfill 2/3 of the pit at a time, and compact. See Note 8 and install slow release fertilizer after first backfill lift. Setting the tree/shrub: Each tree/ shrub shall be planted such that the trunk flare junction is level with or 1" above existing grade. All trees/shrubs where the planting depth is incorrect shall be rejected. All trees and shrubs shall have a 3" soil saucer constructed at the perimeter of the planting pit.
8. All plantings shall have slow release fertilizer installed at the time of planting. The fertilizer shall be "Roots Transplant 1 Step", installed/ applied according to manufacturers instructions according to manufacturers instructions. After the plants are installed in each area, liquid feed all plants with Roots - Liquid Concentrate. Mix and apply according to manufacturers instructions. The landscape contractor shall submit samples of the slow release fertilizer and copies of the label of the liquid fertilizer prior to plant installation. The Landscape Contractor shall not install any plant material unless appropriate watering equipment is on site. All plants shall be adequately watered the day of installation or these plants will be rejected and replaced by the Landscape Contractors at no cost to the owner.
9. All trees shall have 2 stakes and guys. Stakes shall be 2" x 2" hardwood of sufficient length to guy above the first branches. Guys shall be flexible guying chain or an approved equal. Submit a sample of guying prior to installation. Any plants with broken or damaged root balls will be rejected. The landscape contractor shall remove all stakes after 1 year.
10. Mulch to be installed to a depth of 3" after normal settling. Mulch shall be medium shredded Hemlock bark, natural dark brown in color. Do not place mulch in contact with the tree trunk. The Landscape Contractor shall submit a 25 cubic foot sample prior to installation.
11. All plants shall have their locations staked and approved by the Landscape Architect prior to plant installation. Plants shall be spaced according to the plan and as noted in the Plant Species List. All plants shall be oriented for best appearance and arranged to evenly occupy the space where they are planted.
12. Plant species and plant size substitutions will not be allowed unless first approved by the Landscape Architect. Any substituted plants installed without prior approval will be rejected.
13. All plants shall be guaranteed for 1 year. The landscape contractor at no cost to the owner shall replace any plants that die during the guarantee.
14. Allow shrubs to grow together to form a continuous plant mass.
15. The contractor shall supply the quantities of plants sufficient to complete the work shown on all of the drawings. If quantities of plants listed in the plant species list do not correlate with the plantings indicated on the drawings, the quantities on the drawings shall govern. Any discrepancies between the plant list and the drawings shall not entitle the landscape contractor to additional remuneration. Notify the Landscape Architect immediately if discrepancies are detected.
16. Under no circumstance shall snow be plowed and piled on planting areas. This will result in crushing and death of the plant material.
17. Prior to Final Acceptance of this project, the site shall be clean of all debris and trash and meet all requirements outlined in this section and plan.

N

CCE

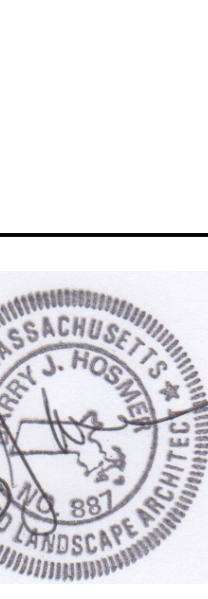
Scale: 1" = 50'-0"



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| | |
|--------------|-------------------------|
| SIZE: ANSI D | PROJECT NO. 109.077.001 |
| DES BY: LDA | DRAWING NO. |
| DWN BY: DAM | L-101 |
| CKD BY: ALT | 32 OF 43 |
| SHEET | |



| |
|----------------|
| LANDSCAPE PLAN |
|----------------|

L-101

Sunburst Honeylocust
Gleditsia triacanthos inermis 'Sunburst'



Tree Size at Time of Planting

Heartland Catalpa
Catalpa speciosa 'Heartland'



Tree Size at Time of Planting

Heartland Catalpa
Catalpa speciosa 'Heartland'



Tree Showing Blossom

Northern Red Oak
Quercus rubra



Tree Size at Time of Planting

Emerald Sentinel Juniper
Juniperus virginiana 'Emerald Sentinel'



Approx. Tree Size at Time of Planting

Norway Spruce
Picea abies



Approx. Tree Size at Time of Planting



Tree Showing Emerging Leaf Color



Mature Tree



More Mature Tree with Fall Color



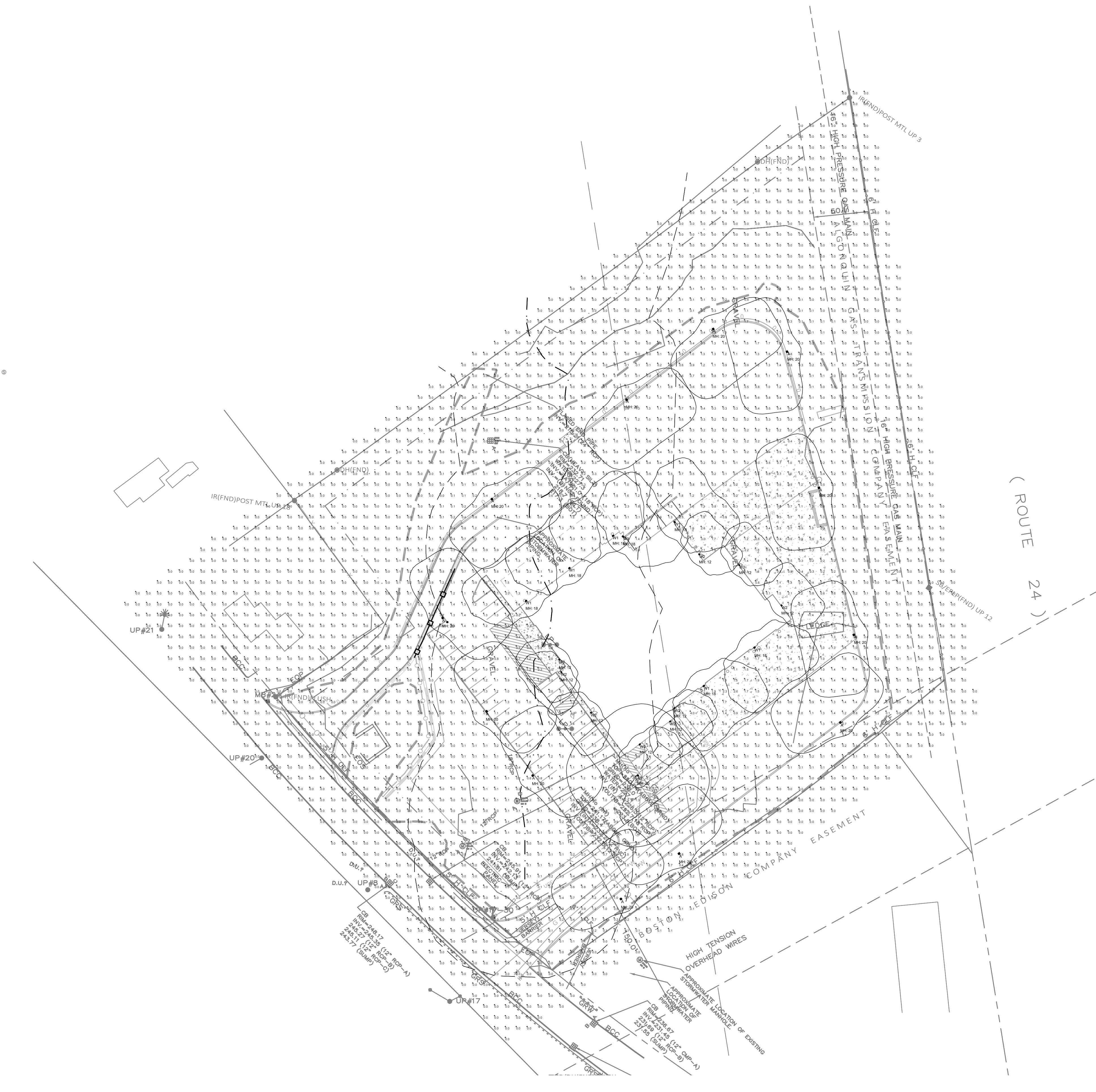
Catalpa Showing Fall Color



47A York St
Portland, ME
04101
207.553.7753

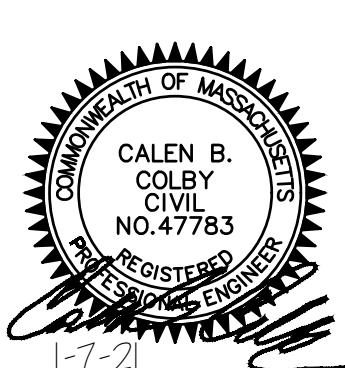
| REV | DESCRIPTION | DWN | APP | DATE | PROJECT NO. | DRAWING NO. |
|-----|-------------|-----|-----|------|---|-------------|
| | | | | | MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757 | |
| | | | | | SALES & SERVICE FACILITY 207 PAGE STREET, STOUGHTON MA | |
| | | | | | LANDSCAPE PLAN PHOTOGRAPHS | |
| | | | | | SIZE: ANSI D DATE: 7/24/2020 DES BY: LDA DWN BY: DAM CKD BY: ALT | |
| | | | | | SHEET 33 OF 43 | |

L-102



PHOTOMETRIC PLAN

SCALE: 1" = 50'-0"



| | | | | | | MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757 SALES & SERVICE FACILITY 207 PAGE STREET, STOUGHTON MA PHOTOMETRIC PLAN | |
|---|-------------------------|-----|-----|-----------|--|---|----------------------------------|
| E | PB & CON COMM REVIEW | LDA | ALT | 2/11/2021 | | | |
| D | ADD DRAINAGE AREA | LDA | ALT | 1/21/2021 | | | |
| C | PLANNING BOARD REVIEW | DAM | ALT | 1/7/2021 | | | |
| B | CONSERVATION COMMISSION | DAM | ALT | 12/4/2020 | | | |
| A | PLANNING BOARD REVIEW | DAM | ALT | 10/5/2020 | | | |
| REV | DESCRIPTION | DWN | APP | DATE | | | |
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| Luminaire Schedule | | | | | |
|--------------------|-----|-------|--------|-------|-----------------------|
| Tag | Qty | Watts | Lumens | LLF | Description |
| A5 | 1 | 90 | 11431 | 0.900 | RAR1-160L-100-3K7-5QW |
| A | 12 | 100 | 5873 | 0.900 | RAR1-80L-50-3K7-4W |
| W1 | 7 | 59.9 | 5460 | 0.900 | LNC3-24L3K-075-4-U |
| W2 | 9 | 28.6 | 2588 | 0.900 | LNC2-12L-3K-070-4 |

| Calculation Summary | | | | | | |
|---------------------|------|-----|-----|---------|---------|--|
| Label | Avg | Max | Min | Avg/Min | Max/Min | |
| SITE | 0.34 | 4.3 | 0.0 | N.A. | N.A. | |

N

A scale bar diagram for a map. It features a horizontal line with tick marks at 0, 50', and 100'. Below the line, the text "Scale: 1" is followed by a double quote symbol, and then "50'-0"" is written, indicating a scale of 1 inch representing 50 feet and 0 inches.

Scale: 1" = 50' 0"

10 QUARRY DRIVE, MILFORD, MA 01755

1
3
ES-101

HUBBELL **Outdoor Lighting**

DATE: LOCATION:
TYPE: PROJECT:
CATALOG #:

RATIO Series

AREA/SITE LIGHTER

FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual control standard
- Compact and lightweight design with low EPA
- 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7-Pin with networked controls
- Best in class surge protection available

RELATED PRODUCTS

CONTROL TECHNOLOGY

SiteSync™ NX DISTRIBUTED™ INTELLIGENCE **WISCAPE™**

SPECIFICATIONS

CONSTRUCTION

- Bolt linear form mimics the traditional shoebox form factor keeping a similar but updated style and appearance, ideal for retrofit applications
- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish

OPTICS

- Die-cast optical aperture illuminated to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical
- 80, 160, 320 or 480 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI) CCT
- Zero uplight at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

- B3 drill pattern
- Optional universal mounting block for ease of on-site drilling retrofit applications. Available as an option or accessory for square and round poles.
- Knuckle arm filter option available for 2-3/8" OD tenon. Max. of 60 degrees with 4" diameter and 100% luminaire coverage. Restrictions apply for 7-pin options
- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz

ELECTRICAL

- 120V 277V VAC or 347-480 VAC input voltage, 50/60 Hz

ELECTRICAL (CONTINUED)

- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power overvoltage, overcurrent protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Level 2. The fixture automatically takes fixture off-line for protection when device is compromised
- Fixture is IP66 rated
- Meets IEC recommendations using 3K CCT configuration at 0 degrees of tilt
- The product qualifies as a "designated country construction material" per FAR 52.225-1 Buy American-Construction Materials under Trade Agreements effective 04/23/2020. See [Buy American Solutions](#)

CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at [www.designlights.org](#)
- Listed to UL1598 and CSA C22.2/2500-24 for wet locations and 40°C ambient temperatures
- 3G rated for ANSI C36.31 high vibration applications
- Fixture is IP66 rated
- Meets IEC recommendations using 3K CCT configuration at 0 degrees of tilt
- The product qualifies as a "designated country construction material" per FAR 52.225-1 Buy American-Construction Materials under Trade Agreements effective 04/23/2020. See [Buy American Solutions](#)

WARRANTY

- 5 year limited warranty
- See [HLL Standard Warranty](#) for additional information

KEY DATA

| | |
|--------------------------------|--------------------|
| Lumen Range | 3,000-48,000 |
| Wattage Range | 25-340 |
| Efficacy Range (LPW) | 118-155 |
| Fixture Projected Life (Hours) | 170-60K |
| Weights lbs. (kg) | 13.5-24 (6.1-10.9) |

ORDERING INFORMATION

ORDERING EXAMPLE: **SSS-H - 25 - 40 - A/B/C - 2L - S2 - DBT - UL**

| | | | | | | |
|--|----------------------------------|----------------------------------|----------------------------------|--|--|--|
| SSS-H | HEIGHT | SHAFT | THICKNESS | MOUNTING | FINISH | OPTIONS |
| SSS-H Square Straight Steel Pole Hubbell Outdoor | Reference page 2 Ordering matrix | Reference page 2 Ordering matrix | Reference page 2 Ordering matrix | 1 Single arm mount 2 Two fixtures at 180° 2L Two fixtures at 90° 3T Three fixtures at 90° 4 Four fixtures at 90° TA Tenon (2.38" OD x 4" ID) TR Tenon (2-98" OD x 4" ID) TC Tenon (3.5" OD x 6" ID) TR Removable Tenon (2.38" OD x 4" ID) OP Open Top (Includes pole cap) | BLT Black Matte Textured BLK Black Gloss Smooth DBT Dark Bronze Matte Textured DBS Dark Bronze Gloss Smooth GTT Graphite Matte Textured LGS Light Grey Gloss Smooth PSS Platinum Silver Smooth WHT White Matte Textured WHS White Gloss Smooth VGT Verde Green Textured Color Option CC Custom Color | GFT 20 Amp GFCI Receptacle and Cover EHF Extra Handhole C05 5" Coupling C20 2" Coupling MPB Mid-pole Luminaire Bracket VM2 Removable vibration damper LAB Less Anchor Bolts UL UL Certified |

MOUNTING ORIENTATION

Denotes handhole location

KEY DATA

| | |
|--------------------------------|------------|
| Lumen Range | 2600-4100 |
| Wattage Range | 29-42 |
| Efficacy Range (LPW) | 85-112 |
| Fixture Projected Life (Hours) | 1.96-60K |
| Weights lbs. (kg) | 9.6 (24.5) |

ACCESSORIES- Order Separately

| | |
|-------------|---------------------------|
| Part Number | Description |
| VM1 | 1st mode vibration damper |
| VM2SX | 2nd mode vibration damper |

HUBBELL **Outdoor Lighting** Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000 **HUBBELL** **Lighting** Due to our continued efforts to improve our products, product specifications are subject to change without notice. © 2020 HUBBELL OUTDOOR LIGHTING. All Rights Reserved • For more information visit our website: [www.hubbelloutdoor.com](#) • Printed in USA SSS-H POLES-SPEC 03/2020

HUBBELL **Outdoor Lighting**

DATE: LOCATION:
TYPE: PROJECT:
CATALOG #:

SSS-H SERIES POLES

SQUARE STRAIGHT STEEL

APPLICATIONS

- Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location

CONSTRUCTION

- SHAFT: One piece straight steel with square cross section, flat sides and minimum 0.23" radius on all corners; Minimum yield of 46,000 psi (ASTM-A500, Grade B); Longitudinal weld seam to appear flush with shaft side wall; Steel base plate with axial bolt Circle slots welded to pole shaft having a minimum yield of 35,000 psi (ASTM A36)
- BASE COVER: Two piece square aluminum base cover included standard
- POLE CAP: Pole shaft supplied with removable cap when applicable, Tenon and post-top configurations also available
- HANDLE: Rectangular 3x3 steel hand hole frame (2.38" x 4.38" opening); Mounting provisions for grounding lug located in hand gasketed cover
- ANCHOR BOLTS: Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling

Anchor bolt part numbers: 3/4 x 30 x 3 - TAB-30-M38
1 x 36 x 4 - TAB-36-M38

FINISH

- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method
- Decorative finish coat available in seven standard colors; Custom colors available; RAL number preferable; Internal protective coating available

WAREHOUSE STOCKED POLES:

- SSSH20-40A-4-HV-DB-RDC, SSSH25-50B-4-HV-DB-RDC and SSSH30-50B-4-HV-DB-RDC
- The HV designation in the above catalog numbers is a combination of the S2 pattern and the B3 pattern

POLE CAP **TENON** **BASE COVER** **BASE DETAIL**

ORDERING INFORMATION

Reference page 2 for available configurations

ORDERING EXAMPLE: **SSS-H - 25 - 40 - A/B/C - 2L - S2 - DBT - UL**

| | | | | | | |
|--|----------------------------------|----------------------------------|----------------------------------|--|--|--|
| SSS-H | HEIGHT | SHAFT | THICKNESS | MOUNTING | FINISH | OPTIONS |
| SSS-H Square Straight Steel Pole Hubbell Outdoor | Reference page 2 Ordering matrix | Reference page 2 Ordering matrix | Reference page 2 Ordering matrix | 1 Single arm mount 2 Two fixtures at 180° 2L Two fixtures at 90° 3T Three fixtures at 90° 4 Four fixtures at 90° TA Tenon (2.38" OD x 4" ID) TR Tenon (2-98" OD x 4" ID) TC Tenon (3.5" OD x 6" ID) TR Removable Tenon (2.38" OD x 4" ID) OP Open Top (Includes pole cap) | BLT Black Matte Textured BLK Black Gloss Smooth DBT Dark Bronze Matte Textured DBS Dark Bronze Gloss Smooth GTT Graphite Matte Textured LGS Light Grey Gloss Smooth PSS Platinum Silver Smooth WHT White Matte Textured WHS White Gloss Smooth VGT Verde Green Textured Color Option CC Custom Color | GFT 20 Amp GFCI Receptacle and Cover EHF Extra Handhole C05 5" Coupling C20 2" Coupling MPB Mid-pole Luminaire Bracket VM2 Removable vibration damper LAB Less Anchor Bolts UL UL Certified |

MOUNTING ORIENTATION

Denotes handhole location

KEY DATA

| | |
|--------------------------------|--------------------|
| Lumen Range | 3,000-48,000 |
| Wattage Range | 25-340 |
| Efficacy Range (LPW) | 118-155 |
| Fixture Projected Life (Hours) | 170-60K |
| Weights lbs. (kg) | 13.5-24 (6.1-10.9) |

ACCESSORIES- Order Separately

| | |
|-------------|---------------------------|
| Part Number | Description |
| VM1 | 1st mode vibration damper |
| VM2SX | 2nd mode vibration damper |

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HUBBELL **Outdoor Lighting**

DATE: LOCATION:
TYPE: PROJECT:
CATALOG #:

LNC2

SMALL LED LITEPAK

FEATURES

- 60% more lumens and increased performance than smaller LNC models
- 3000K, 4000K and 5000K as well as Amber
- Type III, III and IV distributions available for a variety of application needs
- Quick-mount adapter allows easy installation/maintenance
- 34V and 480V versions for industrial applications and Canada
- Stock versions available for fast service
- Full cut-off, neighbor friendly, IDA approved
- Optional photocell for additional energy savings

RELATED PRODUCTS

CONTROL TECHNOLOGY

SiteSync™

SPECIFICATIONS

CONSTRUCTION

- Rugged die-cast aluminum housing protects components and provides an architectural appearance
- Casting thermally conducts LED heat to optimize performance and long life
- Powder paint finish provides durability in outdoor environments

OPTICS

- Zero uplight distributions using individual acrylic
- LED optics provide IES type II, III and IV distributions. Optional (CS) acrylic diffuser available for reduced glare
- Prismatic reflector lens provides -10% uplight for increased vertical footcandles and forward light projection ideal for security lighting
- L95 at 60,000hrs (Projected per IESNA TM-21-11), see table on page 3 for all values

ACCESSORIES

- Universal button photocontrol
- Occupancy sensor options available for complete on/off and dimming control
- SiteSync™ provides wireless control (with or without sensor)
- Integral Battery Backup provides emergency lighting for the required 90 minute path of egress
- Dual Driver and Dual Power Feed option for 18L-070 versions

INSTALLATION

- Quick-mount adapter provides easy installation to wall or recessed junction boxes
- Designed for direct box mount
- Optional 1/2" conduit hubs available (standard for sensor, SiteSync and battery versions)

KEY DATA

| | |
|--------------------------------|------------|
| Lumen Range | 2600-4100 |
| Wattage Range | 29-42 |
| Efficacy Range (LPW) | 85-112 |
| Fixture Projected Life (Hours) | 1.96-60K |
| Weights lbs. (kg) | 9.6 (24.5) |

ACCESSORIES- Order Separately

| | |
|-------------|---------------------------|
| Part Number | Description |
| VM1 | 1st mode vibration damper |
| VM2 | 2nd mode vibration damper |
| VM2SX | 2nd mode vibration damper |

HUBBELL **Outdoor Lighting** Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000 **HUBBELL** **Lighting** Due to our continued efforts to improve our products, product specifications are subject to change without notice. © 2020 HUBBELL OUTDOOR LIGHTING. All Rights Reserved • For more information visit our website: [www.hubbelloutdoor.com](#) • Printed in USA LNC2LED-SPEC 03/2020

HUBBELL **Outdoor Lighting**

DATE: LOCATION:
TYPE: PROJECT:
CATALOG #:

LNC2

SMALL LED LITEPAK

ADDITIONAL INFORMATION

SHIPPING INFORMATION

| Catalog Number | G/W(kg)/CTN | Carton Dimensions | Carton Qty per Master Pack | | |
|----------------|-------------|-------------------|----------------------------|------------|---|
| LNC2-12LU | 14.3 (6.5) | 14.5 (5.7) | 11.4 (2.9) | 8.4 (2.15) | 2 |
| LNC2-18LU | 14.8 (6.7) | 14.9 (5.8) | 11.4 (2.9) | 8.4 (2.15) | 2 |

NV - INVERTED MOUNTING OPTIONS **SCP - PROGRAMMABLE OCCUPANCY SENSOR** **SWP & SWPM - SITESYNC™**

*Requires Factory Installed Lens Option

Inverted mounting capabilities for uplighting applications. Specially designed frosted acrylic diffuser optics softens output, improves uniformity and protects LED lenses.

LNC2 - BATTERY BACK UP

Provides Life Safety Code average illuminance of 10 fc. Assumes open space with no obstructions and mounting height of 11'.

Diagram for illustration purposes only, please consult factory for application layout.

Battery backup units consume 6 watts when charging a dead battery and 2 watts during maintenance charging. EH units with a heated census up to an additional 8 watts when charging if the battery temp is lower than 10°C.

E & EH EMERGENCY BATTERY BACKUP

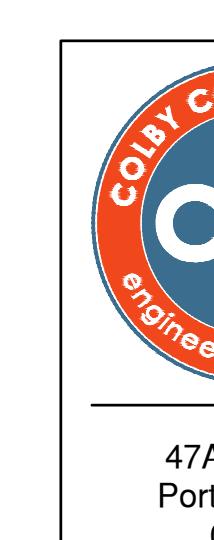
Standard versions utilize 9, 12 or 18 High Power LEDs to generate 1,600 - 4,200 lumens in Normal Mode and use 4 LEDs for up to 700 lumens in Emergency Mode. Prismatic reflector versions utilize 1 COB LED to generate approximately 900 lumens in emergency mode.

USE OF TRADEMARKS AND TRADE NAMES

All product and company names, logos and product identities are trademarks or registered trademarks of Hubbell Lighting, Inc. or their respective owners. Use of them does not necessarily imply any affiliation with or endorsement by such respective owners.

HUBBELL **Outdoor Lighting**

Page 8 Rev. 08/17/20
LNC2LED-SPEC
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1-7-21

47A York St
Portland, ME
04101
207.553.7753

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| REV | DESCRIPTION | DWN | APP | DATE |
|-----|-------------------------|-----|-----|-----------|
| E | PB & CON COMM REVIEW | LDA | ALT | 2/11/2021 |
| D | ADD DRAINAGE AREA | LDA | ALT | 1/21/2021 |
| C | PLANNING BOARD REVIEW | DAM | ALT | 1/7/2021 |
| B | CONSERVATION COMMISSION | DAM | ALT | 1/24/2020 |
| A | PLANNING BOARD REVIEW | DAM | ALT | 10/5/2020 |
| REV | DESCRIPTION | DWN | APP | DATE |

SIZE:

ANSI D

DATE:

1/7/2021

DES BY:

LDA

DWN BY:

DAM

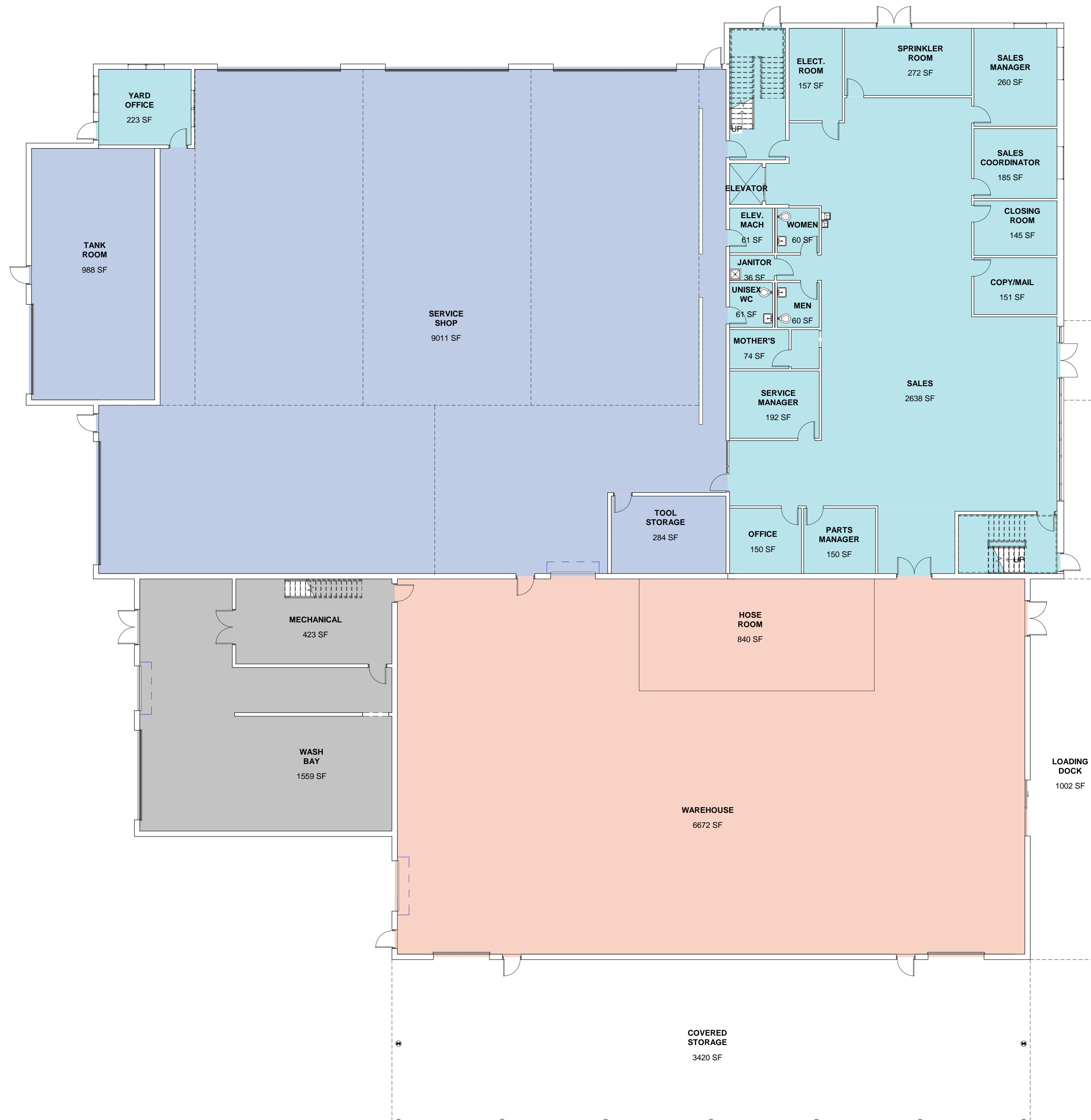
CKD BY:

ALT

| PROJECT NO. | 109.077.001 |
|-------------|-------------|
| SHEET | 35 OF 43 |

ES-102

MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC
100 QUARRY DRIVE, MILFORD, MA 01757
SALES & SERVICE FACILITY
207 PAGE STREET, STOUGHTON MA
LIGHTING DETAILS



FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"

1

- OFFICE
- SERVICE BAY
- WAREHOUSE
- WASH BAY

| | |
|-------------------------|------------------|
| 1ST FLOOR OFFICE | 5,699 SF |
| 2ND FLOOR OFFICE | 5,695 SF |
| 2ND FLOOR WASH BAY | 423 SF |
| COVERED OUTSIDE STORAGE | 3,420 SF |
| COVERED VEHICLE LOADING | 1,002 SF |
| SHOP | 10,514 SF |
| WAREHOUSE | 7,591 SF |
| WASH BAY | 2,049 SF |
| YARD OFFICE | 223 SF |
| TOTAL | 36,616 SF |



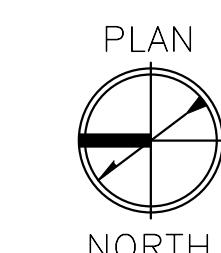
47A York St
Portland, ME 04101
207.553.7753

| PLANNING BOARD REVIEW | | 10/05/2020 | PROJECT NO. | DRAWING NO. | |
|-----------------------|---|------------|-------------|-------------|--|
| REV | DESCRIPTION | DWN | APP | DATE | |
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| | SIZE: ANSI D | | | | |
| | DATE: 09/29/2020 | | | | |
| | DES BY: EAC | | | | |
| | DWN BY: SMH | | | | |
| | CKD BY: ALT | | | | |
| | SHEET | | | | |
| | 36 OF 43 | | | | |

MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC
100 QUARRY DRIVE, MILFORD, MA 01757

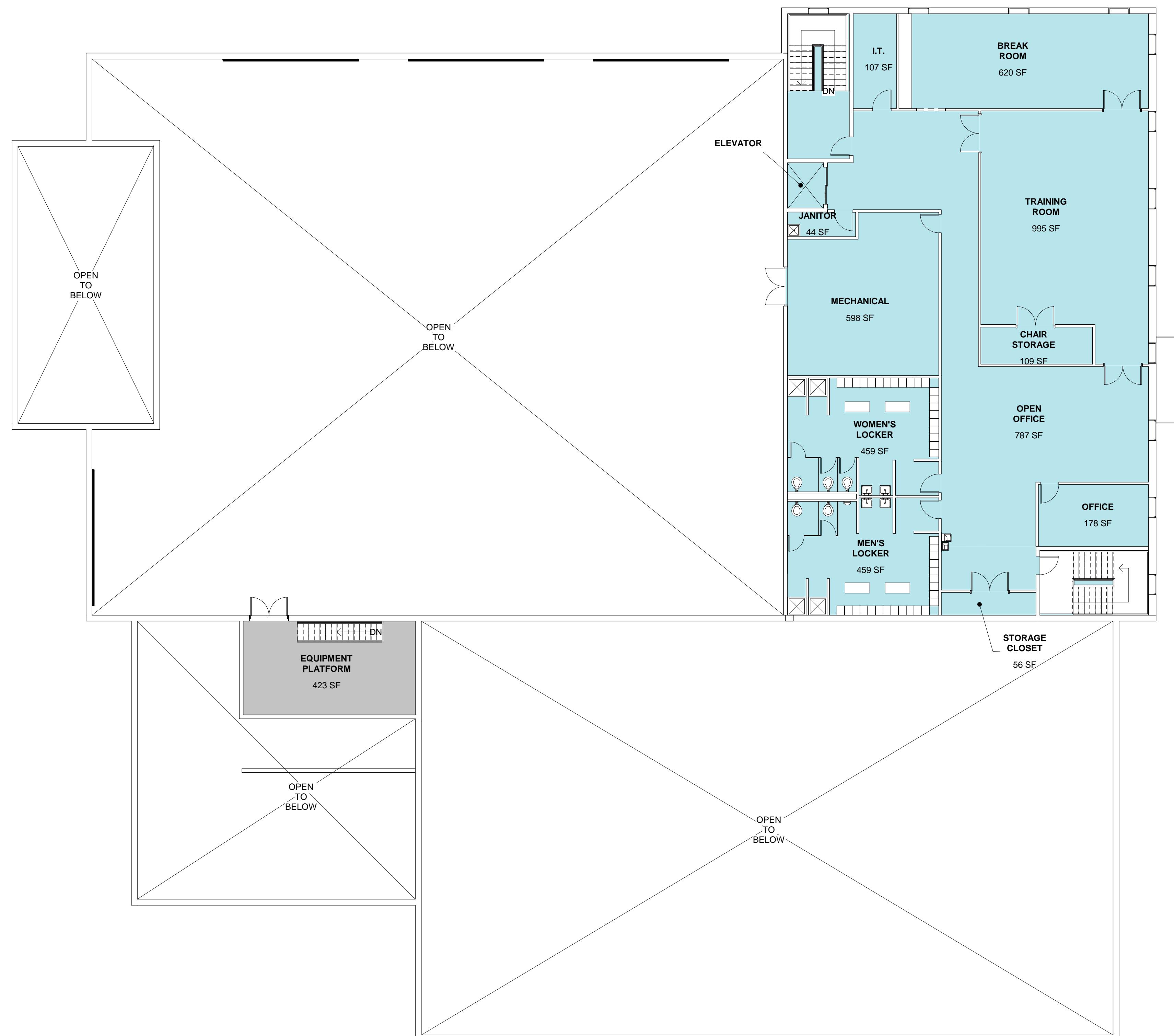
SALES & SERVICE FACILITY
207 PAGE STREET, STOUGHTON MA

FIRST FLOOR PLAN



0 8' 16' 24'
Scale: 3/32" = 1'-0"

A101



A diagram consisting of two horizontal rectangles. The top rectangle is light blue and contains the word 'OFFICE' in black, bold, uppercase letters. The bottom rectangle is grey and contains the words 'WASH BAY' in black, bold, uppercase letters.

| | | |
|------------------------|---------------|-----------|
| ST FLOOR OFFICE | 5,699 | SF |
| ND FLOOR OFFICE | 5,695 | SF |
| ND FLOOR WASH BAY | 423 | SF |
| OVERED OUTSIDE STORAGE | 3,420 | SF |
| OVERED VEHICLE LOADING | 1,002 | SF |
| HOP | 10,514 | SF |
| WAREHOUSE | 7,591 | SF |
| WASH BAY | 2,049 | SF |
| ARD OFFICE | 223 | SF |
| TOTAL | 36,616 | SF |

A horizontal line representing a structure. It is divided into two segments: a shorter segment on the left labeled '8'' and a longer segment on the right labeled '16''. The total width is 16'.

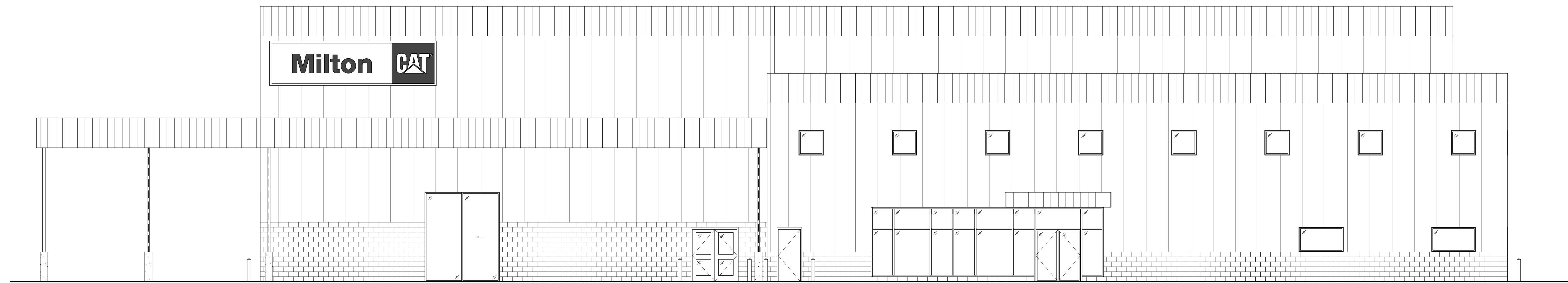
SECOND FLOOR PLAN

SCALE: 3/32" =

1

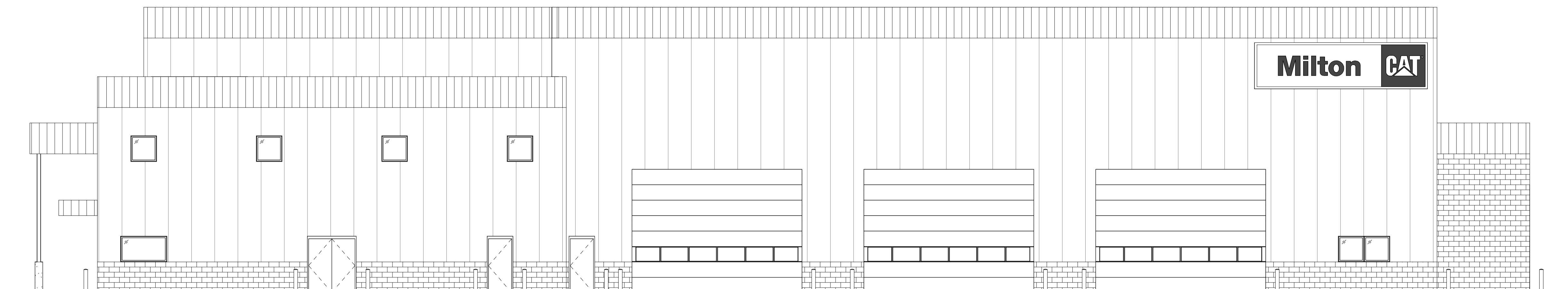


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|---|--|--|--|--|--|---|--|---|--|--|--|--------------------------|--|--|--|---|-----------------------|--|------------|-----------------------------------|--|----------------------------|--|--|---------------------------------|--|
|  | | | | | | MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757 | | | | | | | | | | | | | | | | | | | | |
| | | | | | | | | SALES & SERVICE FACILITY 207 PAGE STREET, STOUGHTON MA | | | | | | | | | | | | | | | | | | |
| | | | | | | | | | | | | SECOND FLOOR PLAN | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | A | PLANNING BOARD REVIEW | | 10/05/2020 | | | | | | | |
| | | | | | | | | | | | | | | | | REV | DESCRIPTION | DWN | APP | | | | | | | |
| | | | | | | | | | | | | | | | | PLEASE NOTE: THIS DOCUMENT MAY NOT ACCURATELY REPRESENT THE FINAL DOCUMENT. ONLY AN ENGINEER, ARCHITECT OR SURVEYOR SIGNED, SEALED AND DATED PAPER COPY, PROVIDED BY THIS OFFICE, MAY BE UTILIZED FOR BIDDING OR CONSTRUCTION PURPOSES. | | SIZE: <u>ANSI D</u> DATE: <u>09/29/2020</u> DES BY: <u>EAC</u> DWN BY: <u>SMH</u> CKD BY: <u>ALT</u> | | PROJECT NO. <u>109.077.001</u> | | DRAWING NO. A102 | | | | |
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SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



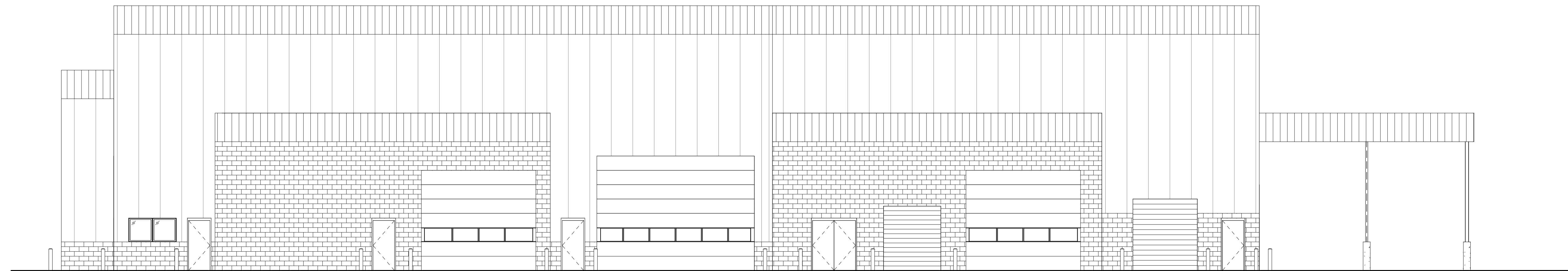
EAST ELEVATION

SCALE: 1/8" = 1'-0"

1

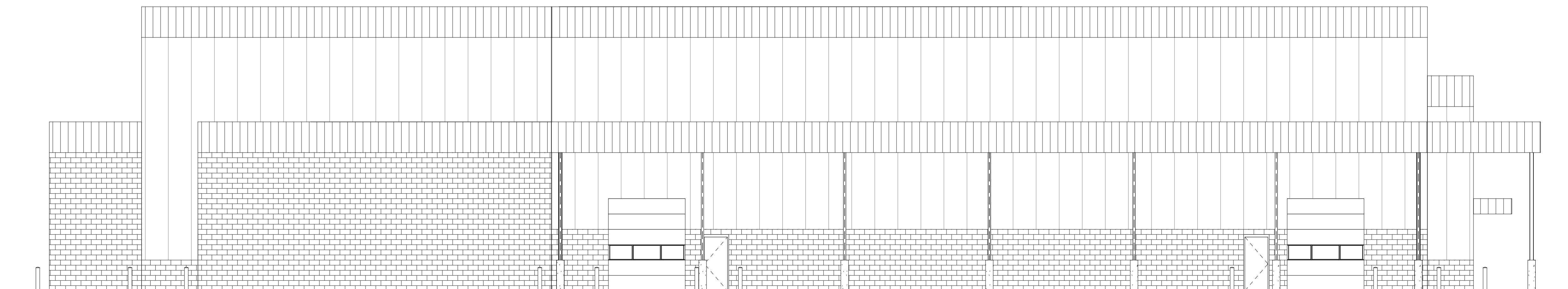


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| A | PLANNING BOARD REVIEW | | | 10/05/2020 | ELEVATIONS | |
| REV | DESCRIPTION | DWN | APP | DATE | | |
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| | | DATE: <u>09/29/2020</u> | | <u>SHEET</u> <u>38</u> <u>OF</u> <u>43</u> | | |
| | | DES BY: <u>EAC</u> | | | | |
| | | DWN BY: <u>SMH</u> | | | | |
| | | CKD BY: <u>ALT</u> | | | | |



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

A horizontal line segment with a small circle at its right end, representing a boundary condition or a point of interest in a diagram.



| | | | | | | | | | | | | | | | |
|---|--|--|--|--|--|--|--|--|-----------------------|-----|------------|------|-------------|------------|---|
|  | | | | | MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757 SALES & SERVICE FACILITY 207 PAGE STREET, STOUGHTON MA | | | | | | | | | | |
| | | | | | | | | A | PLANNING BOARD REVIEW | | 10/05/2020 | | | | |
| | | | | | | | | REV | DESCRIPTION | DWN | APP | DATE | | | |
| | | | | | | | | <p>PLEASE NOTE: THIS DOCUMENT MAY NOT ACCURATELY REPRESENT THE FINAL DOCUMENT. ONLY AN ENGINEER, ARCHITECT OR SURVEYOR SIGNED, SEALED AND DATED PAPER COPY, PROVIDED BY THIS OFFICE, MAY BE UTILIZED FOR BIDDING OR CONSTRUCTION PURPOSES.</p> | | | | | SIZE: | ANSI D | PROJECT NO. 109.077.001 SHEET 39 OF 43 |
| | | | | | | | | | | | | | DATE: | 09/29/2020 | |
| | | | | | | | | | | | | | DES BY: | EAC | |
| | | | | | | | | | | | | | DWN BY: | SMH | |
| | | | | | | | | | | | | | CKD BY: | ALT | |
| | | | | | | | | ELEVATIONS | | | | | A202 | | |



47A York
Portland, ME
04101
207.553.7722

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|---|-----------------------|---------|------------|------------|-------------|--|
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| A | PLANNING BOARD REVIEW | | | 10/05/2020 | | 3D VIEWS |
| REV | DESCRIPTION | DWN | APP | DATE | | |
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| | | DATE: | 09/29/2020 | | 109.077.001 | A901 |
| | | DES BY: | EAC | | SHEET | |
| | | DWN BY: | SMH | | 40 | |
| | | CKD BY: | ALT | | OF 43 | |

MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC
100 QUARRY DRIVE, MILFORD, MA 01757

SALES & SERVICE FACILITY
207 PAGE STREET, STOUGHTON MA

3D VIEWS

A901

 Commonwealth of Massachusetts
City/Town of STOUGHTON

Form 11 - Soil Suitability Assessment for On-Site Sewage Disposal

C. On-Site Review (minimum of two holes required at every proposed primary and reserve disposal area)

| Deep Observation Hole Number: <u>101</u> Hole # | | Date <u>9/16/2020</u> | Time <u>0700-1100</u> | Weather <u>SUNNY, 65F</u> | Latitude _____ | Longitude _____ | | | | | |
|--|---|--|------------------------------------|--|------------------------------|-----------------|------------------------------|------------------|----------------|--------------------------|-------|
| 1. Land Use | SEE PLAN (e.g., woodland, agricultural field, vacant lot, etc.) | | Vegetation | Surface Stones (e.g., cobbles, stones, boulders, etc.) | | Slope (%) | | | | | |
| Description of Location: _____ | | | | | | | | | | | |
| 2. Soil Parent Material: | Landform | | | Position on Landscape (SU, SH, BS, FS, TS) | | | | | | | |
| 3. Distances from: | Open Water Body | feet | Drainage Way | feet | Wetlands | feet | | | | | |
| | Property Line | feet | Drinking Water Well | feet | Other | feet | | | | | |
| 4. Unsuitable Materials Present: | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | | If Yes: | <input checked="" type="checkbox"/> Disturbed Soil <input checked="" type="checkbox"/> Fill Material <input type="checkbox"/> Weathered/Fractured Rock <input checked="" type="checkbox"/> Bedrock | | | | | | | |
| 5. Groundwater Observed: | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | If yes: | Depth Weeping from Pit | Depth Standing Water in Hole | | | | | | |
| Soil Log | | | | | | | | | | | |
| Depth (in) | Soil Horizon /Layer | Soil Texture (USDA) | Soil Matrix: Color-Moist (Munsell) | Redoximorphic Features | | | Coarse Fragments % by Volume | | Soil Structure | Soil Consistence (Moist) | Other |
| | | | | Depth | Color | Percent | Gravel | Cobbles & Stones | | | |
| 0-24 | FILL | FILL | - | | | | | | DRY | | |
| | | | | | | | | | | | |
| | | | | | | | | | | | |
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Additional Notes:
BEDROCK AT 24"

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Form 11 – Soil Suitability Assessment for On-Site Sewage Disposal • Page 2 of 5

Commonwealth of Massachusetts
City/Town of STOUGHTON

Form 11 - Soil Suitability Assessment for On-Site Sewage Disposal

C. On-Site Review (minimum of two holes required at every proposed primary and reserve disposal area)

Deep Observation Hole Number: 102 Hole #: 9/16/20 Date: 0700-1100 Time: SUNNY, 65F Weather: Latitude: _____ Longitude: _____

1. Land Use: SEE PLAN
(e.g., woodland, agricultural field, vacant lot, etc.) Vegetation: _____ Surface Stones (e.g., cobbles, stones, boulders, etc.) _____ Slope (%): _____

Description of Location: _____

2. Soil Parent Material: _____ Landform: _____ Position on Landscape (SU, SH, BS, FS, TS): _____

3. Distances from: Open Water Body _____ feet Drainage Way _____ feet Wetlands _____ feet
Property Line _____ feet Drinking Water Well _____ feet Other _____ feet

4. Unsuitable

Materials Present: Yes No If Yes: Disturbed Soil Fill Material Weathered/Fractured Rock Bedrock

5. Groundwater Observed: Yes No If yes: _____ Depth Weeping from Pit _____ Depth Standing Water in Hole _____

Soil Log

| Depth (in) | Soil Horizon /Layer | Soil Texture (USDA) | Soil Matrix: Color-Moist (Munsell) | Redoximorphic Features | | | Coarse Fragments % by Volume | | Soil Structure | Soil Consistence (Moist) | Other |
|------------|---------------------|---------------------|------------------------------------|------------------------|-------|---------|------------------------------|------------------|----------------|--------------------------|-------|
| | | | | Depth | Color | Percent | Gravel | Cobbles & Stones | | | |
| 0-6" | FILL | FILL | - | | | | | | | DRY | |
| | | | | | | | | | | | |
| | | | | | | | | | | | |
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| | | | | | | | | | | | |
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Additional Notes:
BEDROCK AT 6"

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Form 11 – Soil Suitability Assessment for On-Site Sewage Disposal • Page 3 of 5

Commonwealth of Massachusetts
City/Town of STOUGHTON

Form 11 - Soil Suitability Assessment for On-Site Sewage Disposal

C. On-Site Review (minimum of two holes required at every proposed primary and reserve disposal area)

Deep Observation Hole Number: 103 Hole #: 9/16/20 Date: 0700-1100 Time: SUNNY, 65F Weather: _____ Latitude: _____ Longitude: _____

1. Land Use: SEE PLAN
(e.g., woodland, agricultural field, vacant lot, etc.) Vegetation: _____ Surface Stones (e.g., cobbles, stones, boulders, etc.) _____ Slope (%): _____

Description of Location: _____

2. Soil Parent Material: _____ Landform: _____ Position on Landscape (SU, SH, BS, FS, TS) _____

3. Distances from: Open Water Body _____ feet Drainage Way _____ feet Wetlands _____ feet
Property Line _____ feet Drinking Water Well _____ feet Other _____ feet

4. Unsuitable
Materials Present: Yes No If Yes: Disturbed Soil Fill Material Weathered/Fractured Rock Bedrock

5. Groundwater Observed: Yes No If yes: _____ Depth Weeping from Pit _____ Depth Standing Water in Hole _____

Soil Log

| Depth (in) | Soil Horizon /Layer | Soil Texture (USDA) | Soil Matrix: Color-Moist (Munsell) | Redoximorphic Features | | | Coarse Fragments % by Volume | | Soil Structure | Soil Consistence (Moist) | Other |
|------------|---------------------|---------------------|------------------------------------|------------------------|-------|---------|------------------------------|------------------|----------------|--------------------------|----------------|
| | | | | Depth | Color | Percent | Gravel | Cobbles & Stones | | | |
| 0-12" | FILL | FILL | - | | | | | | | DRY | STRUCT. FILL |
| 12-96 | FILL | FILL | - | | | | | | | DRY | VARYING LAYERS |
| | | | | | | | | | | | |
| | | | | | | | | | | | |
| | | | | | | | | | | | |
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Additional Notes: BEDROCK AT 96" FILL CONTAINS LITTLE DEBRIS

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Form 11 – Soil Suitability Assessment for On-Site Sewage Disposal • Page 3 of 5

Commonwealth of Massachusetts
City/Town of STOUGHTON

Form 11 - Soil Suitability Assessment for On-Site Sewage Disposal

C. On-Site Review (minimum of two holes required at every proposed primary and reserve disposal area)

| | | | | | | |
|----------------------------------|---|--|---|---|----------|------------|
| Deep Observation Hole Number: | 104 Hole # | 9/16/20 Date | 0700-1100 Time | SUNNY, 65F Weather | Latitude | Longitude: |
| 1. Land Use: | SEE PLAN (e.g., woodland, agricultural field, vacant lot, etc.) | Vegetation | Surface Stones (e.g., cobbles, stones, boulders, etc.) | Slope (%) | | |
| Description of Location: | | | | | | |
| 2. Soil Parent Material: | Landform | | | Position on Landscape (SU, SH, BS, FS, TS) | | |
| 3. Distances from: | Open Water Body _____ feet | Drainage Way _____ feet | Wetlands _____ feet | | | |
| | Property Line _____ feet | Drinking Water Well _____ feet | Other _____ feet | | | |
| 4. Unsuitable Materials Present: | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | | | If Yes: <input checked="" type="checkbox"/> Disturbed Soil <input checked="" type="checkbox"/> Fill Material <input type="checkbox"/> Weathered/Fractured Rock <input type="checkbox"/> Bedrock | | |
| 5. Groundwater Observed: | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | If yes: _____ Depth Weeping from Pit _____ Depth Standing Water in Hole | | | |

Soil Log

| Depth (in) | Soil Horizon /Layer | Soil Texture (USDA) | Soil Matrix: Color-Moist (Munsell) | Redoximorphic Features | | | Coarse Fragments % by Volume | | Soil Structure | Soil Consistence (Moist) | Other |
|------------|---------------------|---------------------|------------------------------------|------------------------|-------|---------|------------------------------|------------------|----------------|--------------------------|----------------|
| | | | | Depth | Color | Percent | Gravel | Cobbles & Stones | | | |
| 0- | FILL | FILL | - | | | | | | | DRY | STRUCT. FILL |
| 132-180 | FILL | FILL | 10 YR 3/1 | | | | | | | MOIST | WOOD AND ROOTS |
| | | | | | | | | | | | |
| | | | | | | | | | | | |
| | | | | | | | | | | | |
| | | | | | | | | | | | |
| | | | | | | | | | | | |

Additional Notes: HIGH ORGANIC SOIL AT 180" +

t5form11.doc • rev. 3/15/18

Form 11 – Soil Suitability Assessment for On-Site Sewage Disposal • Page 3 of 5

**Commonwealth of Massachusetts
City/Town of STOUGHTON**

Form 11 - Soil Suitability Assessment for On-Site Sewage Disposal

C. On-Site Review (minimum of two holes required at every proposed primary and reserve disposal area)

Deep Observation Hole Number: 105 **Hole #** 9/16/20 **Date** 0700-1100 **Time** SUNNY, 65F **Weather** _____ **Latitude** _____ **Longitude** _____

1. Land Use: SEE PLAN (e.g., woodland, agricultural field, vacant lot, etc.) **Vegetation** _____ **Surface Stones** (e.g., cobbles, stones, boulders, etc.) _____ **Slope (%)** _____

Description of Location: _____

2. Soil Parent Material: _____ **Landform** _____ **Position on Landscape (SU, SH, BS, FS, TS)** _____

3. Distances from: **Open Water Body** _____ feet **Drainage Way** _____ feet **Wetlands** _____ feet
 Property Line _____ feet **Drinking Water Well** _____ feet **Other** _____ feet

4. Unsuitable
Materials Present: Yes No If Yes: Disturbed Soil Fill Material Weathered/Fractured Rock Bedrock

5. Groundwater Observed: Yes No If yes: _____ Depth Weeping from Pit _____ Depth Standing Water in Hole

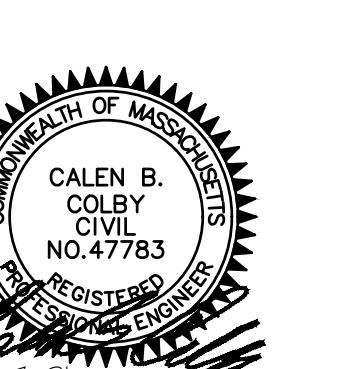
Soil Log

| Depth (in) | Soil Horizon /Layer | Soil Texture (USDA) | Soil Matrix: Color-Moist (Munsell) | Redoximorphic Features | | | Coarse Fragments % by Volume | | Soil Structure | Soil Consistence (Moist) | Other |
|-------------------|----------------------------|----------------------------|---|-------------------------------|--------------|----------------|-------------------------------------|-----------------------------|-----------------------|---------------------------------|-----------------|
| | | | | Depth | Color | Percent | Gravel | Cobbles & Stones | | | |
| 0-144 | FILL | FILL | - | | | | | 15 | | DRY | MULTIPLE LAYERS |
| 144-168 | FILL | FILL | 10 YR 3/1 | | | | | | | MOIST | WOOD AND ROOTS |
| 168"+ | C | LOAM | 10 YR 6/4 | | | | | | | SAT | |
| | | | | | | | | | | | |
| | | | | | | | | | | | |
| | | | | | | | | | | | |
| | | | | | | | | | | | |

Additional Notes:

t5form11.doc • rev. 3/15/18

Form 11 – Soil Suitability Assessment for On-Site Sewage Disposal • Page 3 of 5



| REV | DESCRIPTION | DWN | APP | DATE | MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757 SALES & SERVICE FACILITY 207 PAGE STREET, STOUGHTON MA BORING LOGS (1 OF 2) | | |
|--|-------------------------|-----|-----|-----------|--|----------------------------|-------------|
| E | PB & CON COMM REVIEW | LDA | ALT | 2/11/2021 | | | |
| D | ADD DRAINAGE AREA | LDA | ALT | 1/21/2021 | | | |
| C | PLANNING BOARD REVIEW | DAM | ALT | 1/7/2021 | | | |
| B | CONSERVATION COMMISSION | DAM | ALT | 12/4/2020 | | | |
| A | PLANNING BOARD REVIEW | DAM | ALT | 10/5/2020 | | | |
| REV | DESCRIPTION | DWN | APP | DATE | | | |
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| | | | | | DATE: <u>1/7/2021</u> | | |
| | | | | | DES BY: <u>LDA</u> | | |
| | | | | | DWN BY: <u>DAM</u> | | |
| | | | | | CKD BY: <u>ALT</u> | | |
| | | | | | SHEET 41 OF 43 | | |

